

ORDINANCE NO. 23-05

**TO REZONE CERTAIN REAL ESTATE WITHIN
THE CITY OF WEST LAFAYETTE, INDIANA
AND DESIGNATING THE TIME WHEN THE
SAME SHALL TAKE EFFECT.**

**BE IT ORDAINED BY THE COMMON COUNCIL OF THE CITY OF
WEST LAFAYETTE, INDIANA**

Section 1: Ordinance No. 32-97 of the City of West Lafayette, Indiana is hereby amended to rezone the following described real estate, to-wit:

Tract I:

Lot Numbered Six (6) in Andrew's Addition to the Town of Chauncey, now West Lafayette, Indiana, as platted upon a part of the East half of the Northeast Quarter of Section 19, in Township 23 North, Range 4 West. Located in Wabash Township, Tippecanoe County, Indiana.

Tract II:

A part of Lot #5 in Andrew's First Addition to the City of West Lafayette (formerly known as the Town of Chauncey) located in the East half of the Northeast Quarter of Section 19, in Township 23 North, Range 4 West and further described as follows:

Beginning at the Northwest corner of said Lot #5 and run thence in a southerly direction along the West line of said lot a distance of 40.25 feet; thence turn 90 degrees and run in an easterly direction and to the East line of said Lot #5; thence run in a northerly direction on and along the East line of said lot a distance of 36.25 feet and to the Northeast corner of said lot; thence run in a westerly direction on and along the North line of said lot a distance of 129 feet and to the place of beginning of this description. Located in Wabash Township, Tippecanoe County, Indiana.

Section 2: Said real estate is hereby rezoned as follows:
FROM: "CBW" District
TO: "PDMX" District

Section 3: This ordinance shall be in full force and effect from and after its passage and signing by the Mayor.

**PASSED AND ADOPTED BY THE COMMON COUNCIL OF THE CITY OF WEST
LAFAYETTE, INDIANA UPON THIS _____ DAY OF _____, 2005.**

Presiding Officer

Attest:

Judith C. Rhodes, Clerk-Treasurer

Presented by me to the Mayor of the City of West Lafayette, Indiana, on the ____ day of _____, 2005.

Judith C. Rhodes, Clerk-Treasurer

This Ordinance approved and signed by me on the ____ day of _____, 2005.

Jan Mills, Mayor

Attest:

Judith C. Rhodes, Clerk-Treasurer

20 NORTH 3RD STREET
LAFAYETTE, INDIANA 47901-1209

(765) 423-9242
(765) 423-9154 [FAX]

SALLIE DELL FAHEY
EXECUTIVE DIRECTOR

August 18, 2005
Ref. No: 05-495

West Lafayette City Council
609 W Navajo Street
West Lafayette IN 47906

CERTIFICATION

RE: Z-2253 – GLOBAL HOLDINGS, LLC (IRVINE TRAVEL) (CBW TO PDMX):

Petitioner is requesting rezoning of 0.291 acres known as Lot 6 and part of Lot 5 in Andrew's Addition to the Town of Chauncey, now West Lafayette, for the purpose of redeveloping the commercial site with a three-story building consisting of 2500 sq. ft. of commercial/retail space on the first floor and 18 efficiency apartments on the second and third floors, located in the Village on Northwestern, west of the intersection with Columbia Street, across from the West Lafayette Public Library, Wabash 19 (NE) 23-4.

Dear Council Members:

As Secretary pro tem to the Area Plan Commission of Tippecanoe County, I do hereby certify that at a public hearing held on August 17, 2005, the Area Plan Commission of Tippecanoe County voted 13 yes – 0 no to approve the motion to rezone the subject real estate from CBW to PDMX. Therefore, the Area Plan Commission of Tippecanoe County recommends to the West Lafayette City Council that the proposed rezoning ordinance be approved for the property described in the attachment, contingent on meeting all requirements of UZO 2-27-10 for submission of Final Detailed Plans, signed off by those noted in that section to include:

1. All sheets (other than preliminary plat) that make up the approved Preliminary Plan;
2. PD Construction Plans per UZO Appendix B2-2;
3. A final plat per UZO Appendix B-3-2 as applicable;
4. Appropriate surety submitted with final plat;
5. Planting plan and plant schedule approved by the West Lafayette Greenspace Administrator;
6. Correction on Sheet 6 to disallow sign exception #3: Wall-mounted case.
7. *No outside restaurant seating.*
8. *Logos on typical east elevation shall not exceed four.*
9. *Sheet 6 of 10 shall show grass lawn with optional ground cover with mulch.*
10. *Hours of operation for alcohol is stated as 10:00 a.m. to 11:00 p.m. These hours may change to be consistent with West Lafayette standards.*

Public Notice has been given that this petition will be heard before the West Lafayette City Council at its September 6, 2005 regular meeting. Petitioners or their representatives must appear to present their case.

Sincerely,

A handwritten signature in black ink, appearing to read "Margy C. Deverall". The signature is fluid and cursive, with a large, stylized initial "M".

Margy C. Deverall
Assistant Director

MCD/bb

Enclosures: Planned Development drawings and Ordinances

cc: Global Holdings LLC
Star & Associates
KJG Architecture
Daniel Teder
Dave Buck
John Meluch, Verizon
Kerry Plantenga, Insight Communications
Jeff Beumel, Cinergy PSI

**Z-2253
GLOBAL HOLDINGS, LLC
GLOBAL HOLDINGS PLANNED DEVELOPMENT
CBW TO PDMX**

**STAFF REPORT
11 August 2005**

Z-2253

**GLOBAL HOLDINGS, LLC
GLOBAL HOLDINGS PLANNED DEVELOPMENT
CBW to PDMX**

**Staff Report
11 August 2005**

REQUEST MADE, PROPOSED USE, LOCATION:

Petitioner, Craig Irvine (and surveyor Starr & Associates) is requesting the rezoning of 0.291 acres known as Lot 6 and part of Lot 5 in Andrew's Addition to the Town of Chauncey, now West Lafayette, for the purpose of redeveloping the commercial site with a new 3-story building consisting of 2500 sq. ft. of commercial/retail space on the first floor and 18 efficiency apartments on the second and third floors, located in the Village at 127 Northwestern, west of the intersection with Columbia Street across from the West Lafayette Public Library, Wabash 19(NE) 23-4.

ZONING HISTORY AND AREA ZONING PATTERNS:

The property in this case is zoned CBW as is the area north and south of it in the Village commercial district. Land adjacent, east and west, is zoned PDRS and PDMX respectively. Zoning beyond the block and a half surrounding the site is solidly R3W. The zoning history for this area, and most of West Lafayette for that matter, is very predictable. During the past 6 years, virtually all rezoning requests in the surrounding area have been for planned development. Of fourteen cases, eight are within two blocks of this site; Chipotle PDNR (Z-2225), Chauncey Townhouses PDRS (Z-2216), Chauncey Square PDMX (Z-2192), State Street Towers PDMX (Z-2134), Villa on Pierce Street PDMX (Z-2122), West Lafayette Library PDNR (Z-2109), Salisbury Place PDMX (Z-2105) and State Street Commons PDMX (Z-1998). Excluding Chipotle, Chauncey Townhouses and West Lafayette Public Library the remaining five cases are all mixed-use developments with both commercial and residential components.

AREA LAND USE PATTERNS:

The site in question is currently home to three businesses, most notably Irvine Travel Service, and three apartments with a total of six bedrooms. Eighteen parking spaces located behind the building currently serve the uses listed above. To the north, in the same block, are a 3-story mixed-use building with first floor retail and residential units above and a one-story, stand alone, retail building. East, across Northwestern from this site, is the new West Lafayette Public Library & Parking Garage. Morton Community Center is further east in the block beyond the library. South, along both sides of Northwestern, South and State Streets, and west, across the alley, is a mix of commercial uses, restaurants and apartments.

TRAFFIC AND TRANSPORTATION:

Access to the surface parking located behind the existing building is from the alley that runs parallel to Northwestern. Access to the 27 off-street surface parking spaces shown in the new proposal will use the same alley route. Utilizing the University Proximate parking standard, 18 spaces (one per efficiency unit) will serve the residential component of the project. The remaining nine spaces will be available for the first floor commercial uses at a rate of 1 space/277 sq. ft. of floor space. Petitioner will restrict the percent of retail space that can be used for eating and drinking establishments to no more than 75%. The other 25% will allow

only those uses permitted in CBW zones and that require 1 space/200 sq. ft. or fewer parking spaces. On-street parking is allowed on both sides of Northwestern in the 2-block area between North and the intersection at South/State Sts. Parking is restricted to one hour and available to Village patrons on a first come first serve basis.

Prior to 1998 the parking standard for uses located in the Village's Central Business Pedestrian zoning district (CBP), was 1space/125 sq. ft. After calculating a 40% reduction unique to the West Lafayette CBP zone for "customer oriented retail uses" the standard effectively became 1space/200 sq. ft. With the adoption of NUZO in 1998 the parking reduction language for the CBW zone (previously CBP) was dropped and uses formerly lumped together, under customer oriented retail uses, were separated into individual categories. "Eating and drinking establishments", or restaurants, became a single land use assigned a standard of 1 space/100 sq. ft. doubling the number of required parking spaces needed. Most other retail/commercial uses were assigned the standard of 1 space/200 sq. ft.

The project site is located within the study area included in the *Purdue University Area Amendment to the Transportation Plan for 2025*. In an effort to "better serve mobility needs in the Purdue University area" three goals are outlined in the plan: First, to provide safe and efficient movement of all transportation modes, to, from, through and around campus; second, encourage pedestrian traffic and discourage vehicular traffic in the central core of the campus; third, provide parking choices for all user groups including faculty, staff, commuting students, resident students and visitors.

Transportation changes recommended by the plan near petitioner's site include: reversing traffic on Northwestern from one-way south bound to one-way north; reversing traffic on Grant Street from one-way north bound to one-way south; making Chauncey, south of State Street, one-way north bound from Williams to State; and constructing a new parking garage immediately east of the Grant Street Garage in the block south of State. Another proposed improvement under consideration, though not in the Purdue Area Amendment, is to make Chauncey north of State Street one-way north from State to South Street. It is projected that completion of the entire plan will take 20 years anticipating that one project will be constructed every 3-4 years.

ENVIRONMENTAL AND UTILITY CONSIDERATIONS:

City sewer, private water and utilities are all presently serving the site. An on-site dumpster is shown in the parking lot.

In keeping with the pedestrian nature of the Village the project design incorporates pedestrian friendly signage, building materials and land use. The building is shown close to the sidewalk. Windows, landscaping and awnings have a pedestrian scale and add visual interest to the building's exterior. All off-street parking is shown behind the building consistent with other businesses in the area except for one newer suburban styled retail building at North and Northwestern.

Signage for the project would use the standards in the CBW zone. Exceptions to the standard would include permitting awning signs (limit of 10 sq. ft. per tenant), sandwich boards (limit 10 sq. ft. per side), window signs (cannot use prohibited signs in windows) and blade signs (limit 8 sq. ft.).

STAFF COMMENTS:

APC and City staff have discussed parking standards in the Village on and off for years. At the heart of every discussion for the last 6 years is the fact that nearly every redevelopment project in the area has used Planned Development zoning in order to negotiate a reasonable parking

standard that factors in the area's pedestrian component. The current standard for a restaurant in CBW is 1space/100 sq. ft. with no allowance for the pedestrian character of the Village, which is the same standard that would be applied to a new restaurant locating in the GB district along Sagamore West, a suburban design that caters to vehicular traffic. Yet, the CBW zones are defined as "... core business areas in the City of West Lafayette which experience significant vehicular and pedestrian traffic in their locations adjacent to Purdue University, for retailing, services, government and professional offices, cultural, recreational and entertainment establishments, housing, commercial lodging and transportation facilities." The closest equivalent zoning district to CBW is the CB district located in downtown Lafayette where 100% of new residential parking must be provided but the parking requirement for commercial land use is zero.

The City of West Lafayette recently hired a consultant to study the parking conditions in the Village. Parking problems in the area are unique because of its proximity to campus. Unlike downtown Lafayette the mix of apartments, commercial/retail business and the tendency for students to use the Village as short term and overflow campus parking poses a difficult challenge. Once the parking study is complete the Plan Commission may be asked to consider a new parking standard for the Village. Until that time, any new redevelopment plan will face the same two options as the petitioner does in this case: variance or planned development? As is evident by looking at the zoning map and variance request history for the Village, both are routine occurrences. What that trend tells us is that the application of suburban parking standards to the most urban parts of the community may not be appropriate.

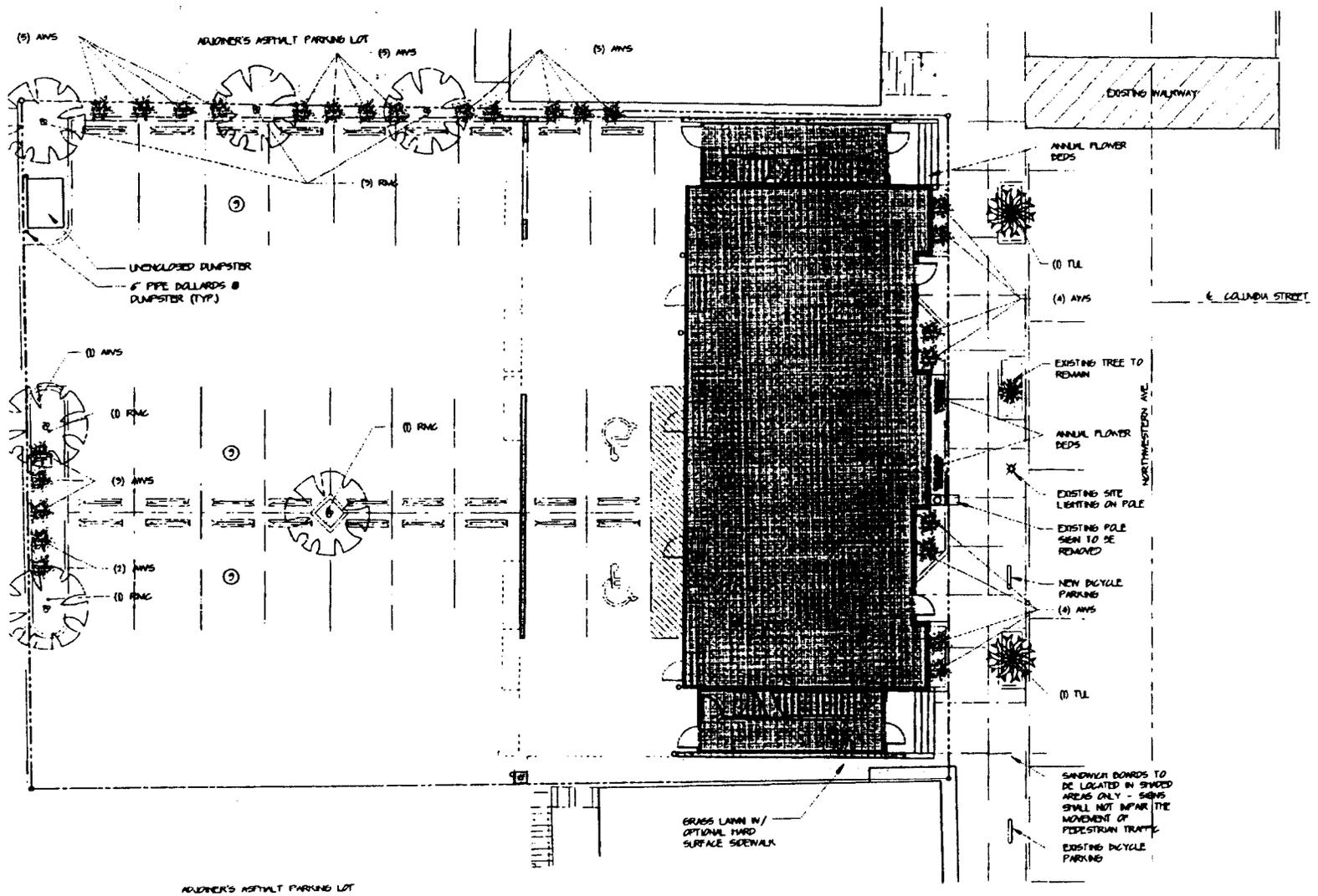
Parking aside, the proposal does contain many positive elements. The building location and design are pedestrian oriented and sensitive to the urban setting. Overall greenspace is significantly increased over what exists. Land use and signage are both appropriate for this property. Restrictive language limiting use of the building will help assure that the project does not overwhelm the site. And finally, the outcome of this and other similar projects will help provide the City and its consultant with good examples of what does and does not work in this unique part of the community.

Staff believes that the project design and proposed uses will be an asset to the area. With the support of City staff and work actively underway to help provide a permanent solution to the parking standard question in the Village, APC staff can give this project a favorable recommendation.

STAFF RECOMMENDATION:

Approval, contingent on meeting all requirements of *UZO 2-27-10* for submission of Final Detailed Plans, signed off by those noted in that section to include:

1. All sheets (other than preliminary plat) that make up the approved Preliminary Plan;
2. PD construction plans per *UZO Appendix B2-2*;
3. A final plat per *UZO Appendix B-3-2* as applicable;
4. Appropriate surety submitted with final plat;
5. Planting plan and plant schedule approved by the West Lafayette Greenspace Administrator;
6. Correction on sheet 6 to disallow sign exception #3: Wall mounted case.



ARCHITECTURAL LANDSCAPE PLAN
SCALE 1/4" = 1'-0"

NARRATIVE

EXISTING USES:
EXISTING ZONING TYPE OF (COM) SHALL BE REZONED TO (PDMS). THE PROPOSED BUILDING WILL CONTAIN COM LEASABLE SPACE ON THE FIRST FLOOR AND (2) APARTMENTS ON THE SECOND AND THIRD FLOORS RESPECTIVELY. THE BASEMENT WILL BE USED AS LOCATION OF THE MECHANICAL EQUIPMENT AND EITHER STORAGE FOR THE BUSINESSES OR APARTMENT RENTERS (NO HAZARDOUS WASTE) SHALL BE PERMITTED TO BE STORED & NO LIVING SPACE WILL BE ALLOWED. THE RETAIL SPACES WILL BE LEASED TO UP TO 4) TENANTS WITH USES ALLOWED UNDER TYPE COM ZONING. EACH APARTMENT WILL BE RENTED TO ONE OCCUPANT ONLY. STREET PARKING WILL BE PROVIDED ON THE WEST SIDE OF THE PROPERTY PER UNIFORM ZONING ORDINANCE. THE TOTAL AREA OF GREENSPACE REQUIRED FOR COM USAGES, WITH THE ALLOWED 2% REDUCTION FOR SITES UNDER 1 ACRE, IS 78 SF. THERE IS 78 SF OF GREENSPACE PROVIDED AS SHOWN ON THIS ARCHITECTURAL LANDSCAPE PLAN. THE BUILDING FOOTPRINT OF 5171 SF IS 41% OF THE TOTAL SITE.

PROPOSED USES:
NOT PERMITTED IN ZONING TYPE (COM) SHALL BE PROHIBITED FROM THE LEASABLE SPACE.

REMOVAL:
EXISTING POLE SIGN LOCATED ON THE EAST SIDE OF THE SITE WILL BE REMOVED. ALL SIGNAGE FOR THE COMMERCIAL USES SHALL BE REGULATED IN ACCORDANCE WITH THE REQUIREMENTS FOR A COM ZONING DISTRICT, INCLUDING DIRECTIONAL SIGNAGE. ALL NEW TENANTS WILL BE ALLOWED 40 SF. PER BUSINESS USE PER STREET FRONTAGE.

REQUIREMENTS:
SIGNAGE: A LIMITATION OF 10 SF. PER TENANT FOR SIGNAGE ON AWNINGS.
SANDWICH BOARDS: COLLAPSIBLE CHANGEOVERS USED TO DISPLAY A DAILY SPECIAL MAY NOT EXCEED 15' X 4' OR 10 SF PER SIDE.
WALL MOUNTED CASE: USED FOR MENU'S AND/OR ATTRACTIONS, ETC. MAY NOT EXCEED 3' X 5' OR 4 SF.
WINDOW SIGNS - NO PROHIBITED SIGN AS DESCRIBED BELOW; MAY BE USED AS A WINDOW SIGN.

PERMITTED SIGN TYPES: THE FOLLOWING SIGNS ARE NOT CONSIDERED FOR USE IN THE GLOBAL HOLDING PLANNED DEVELOPMENT:
BACK-LIT BOX SIGNS WITH TRANSPARENT OR TRANSLUCENT FACES.
SIGNS WITH MOVING OR FLASHING LIGHTS (STROBES, CHASERS, ETC.)
CUSTOMIZABLE MESSAGE "READER" BOARD SIGNS
PORTABLE SIGNS

NOTES:
SIGNS MAY OR MAY NOT BE INSTALLED ON THE FRONT OF THE BUILDING. IF AWNINGS ARE INSTALLED, THEY MUST BE PLACED METRICALLY ACROSS THE FACE OF THE BUILDING.

NARRATIVE (CONT.)

PARKING:
(1) RESERVED SPACE WILL BE PROVIDED FOR EACH EFFICIENCY APARTMENT (10 TOTAL). NINE SPACES PROVIDED FOR THE COMMERCIAL SPACE (27 TOTAL SPACES).

THE MAXIMUM AMOUNT OF THE LEASABLE COMMERCIAL SQUARE FOOTAGE OF THE PLANNED DEVELOPMENT THAT SHALL BE USED FOR FOOD SERVICE SHALL NOT EXCEED 10% SF. (75%) THE RESTRICTION ON THE MAXIMUM AMOUNT OF THE LEASABLE COMMERCIAL SQUARE FOOTAGE OF THE PLANNED DEVELOPMENT THAT MAY BE USED FOR FOOD SERVICE MAY BE INCREASED OR ELIMINATED AT THE DISCRETION OF THE ADMINISTRATIVE OFFICER UPON THE HAPPENING OF ANY OF THE FOLLOWING:
1. A CHANGE IN THE VILLAGE AREA THAT WOULD CAUSE THE EXISTING AMOUNT OF PARKING TO BE ADEQUATE FOR ADDITIONAL FOOD SERVICE USAGE.
2. THE OWNER OF THE PLANNED DEVELOPMENT SECURES SUCH PARKING AS WOULD OTHERWISE BE REQUIRED UNDER THE UNIFIED ZONING ORDINANCE FOR ADDITIONAL FOOD USAGE THROUGH WRITTEN AGREEMENT, PURSUANT TO SECTION 4-4-11(a) OF THE UNIFIED ZONING ORDINANCE.
3. AN AGENCY OF THE CITY OF WEST LAFAYETTE CONSTRUCTS A PARKING ENHANCEMENT IN THE VILLAGE AREA THAT IS WITHIN A USABLE DISTANCE FROM THE PLANNED DEVELOPMENT.

PLANT SCHEDULE					
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	COMMENT
TLL	2	LIRIODENDRON TULIPIFERA	TULIP	1-1/2" CAL	DD
RMC	4	ACER RUBRUM 'COLUMNAR'	RED MAPLE 'COLUMNAR'	1-1/2" CAL	DD
AMS	25	SPREAUA x D. ANTHONY WATERER	ANTHONY WATERER SPREAUA	B'	CONT

LANDSCAPE GENERAL NOTES

- IN CASE OF DISCREPANCIES BETWEEN THE PLAN AND PLANT LIST, THE PLAN SHALL PREVAIL. IF IN QUESTION CONTACT THE LANDSCAPE ARCHITECT & THE WEST LAFAYETTE REDEVELOPMENT AND GREENSPACE ADMINISTRATOR.
- ALL SHRUB PLANTING AREAS TO BE COVERED WITH 5" THICK LAYER OF SPRESSED HARDWOOD DARK MULCH. ALL PERSONAL BEDS SHALL BE COVERED WITH 1" SPRESSED HARDWOOD DARK MULCH. DARK MULCH SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND SHALL BE UNIFORM IN TEXTURE AND COLOR AND SHALL BE OBTAINED FROM SAWMILL OR LUMBERING OPERATIONS. NO UTILITY MULCH OR PROCESSED TREE TRIMMINGS WILL BE ALLOWED.
- AN APPROVED PRE-EMERGENT HERBICIDE SHALL BE APPLIED IN ALL PLANTING AND GRASS COVER BEDS AT RATES SPECIFIED BY MANUFACTURER FOR EACH VARIETY OF PLANT.
- FINAL PLACEMENT OF PLANT MATERIALS, ETC. SHALL BE APPROVED BY LANDSCAPE ARCHITECT AND THE WEST LAFAYETTE GREENSPACE ADMINISTRATOR BEFORE PLANTING OPERATIONS ARE TO PROCEED. ALL TREE LOCATION SHALL BE MARKED WITH A WOODEN STAKE INDICATING VARIETY AND SIZE OF TREE. ALL STAKES SHALL BE REMOVED FOLLOWING PLANTING OPERATIONS.
- SUBSTITUTIONS OF PLANT MATERIAL WILL BE ALLOWED SUBJECT TO WEST LAFAYETTE STANDARDS IF PLANTS ARE SHOWN TO BE UNAVAILABLE. THE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT PRIOR TO DO DATE IN WRITING & SUBJECT TO WEST LAFAYETTE APPROVAL. ALL PLANTS SHALL BE INSPECTED AND TAGGED WITH PROJECT IDENTIFICATION AT NURSERY OR CONTRACTOR'S OPERATION PRIOR TO MOVING TO JOB SITE. PLANTS MAY ALSO BE INSPECTED AND APPROVED OR REJECTED ON THE JOB SITE.
- ALL PLANTS ARE TO MEET OR EXCEED THE MOST CURRENT EDITION OF THE WEST LAFAYETTE CITY STANDARDS.
- PLANTS AND ALL OTHER MATERIALS TO BE STORED ON SITE WILL BE PLACED WHERE THEY WILL NOT CONFLICT WITH CONSTRUCTION OPERATIONS AND AS DIRECTED BY OWNER.
- ALL NEW LANDSCAPE PLANTING SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AT THE END OF THIS PERIOD, PLANT MATERIAL TERMED DEAD OR UNSATISFACTORY BY LANDSCAPE ARCHITECT SHALL BE REPLACED AT NO ADDITIONAL CHARGE BY THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS AND FEES THAT MAY BE REQUIRED FOR HIS PORTION OF WORK.
- PEAT MOSS TO BE USED ON PROJECT SHALL BE A DOMESTIC OR IMPORTED MATERIAL, CHOCOLATE BROWN IN COLOR AND COMPOSED OF PARTIALLY DECOMPOSED VEGETABLE MATERIAL. PEAT MOSS TO ALSO BE MILDLY ACIDIC IN CHARACTER AND SHALL MEET APPROVAL OF LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT & THE CITY OF WEST LAFAYETTE REDEVELOPMENT & GREENSPACE ADMINISTRATOR IN WRITING PRIOR TO DO DATE OF ANY PLANTS THAT HE FEELS MAY NOT SURVIVE IN LOCATIONS NOTED.
- ALL DISTURBED LAWN AREAS SHALL BE SOODED OR SEEDED AS NOTED. LAWNS SHALL BE SOODED OR SEEDED WITH SEED MIX AS APPROVED BY LANDSCAPE ARCHITECT.
- ALL LAWNS SHALL BE GUARANTEED TO HAVE A FULL UNIFORM STAND OF ACCEPTABLE GRASS AT END OF ONE YEAR GUARANTEE PERIOD WITH NO BARE SPOTS COMPRISING MORE THAN 2% OF ANY LAWN AREA. ANY AREA SO NOTED WILL BE RESOODED UNTIL AN ACCEPTABLE STAND OF GRASS IS ESTABLISHED.
- ALL LANDSCAPING PLANTINGS TO BE MAINTAINED FOR 60 DAYS FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. ALL SEEDED LAWNS TO BE MAINTAINED FOR A PERIOD OF 60 DAYS AND SEEDED LAWNS 30 DAYS FOLLOWING FINAL INSPECTION BY LANDSCAPE ARCHITECT. AFTER WRITTEN REQUEST FROM LANDSCAPE CONTRACTOR. MAINTENANCE TO INCLUDE WATERING, WEEDING, CULTIVATION, MOWING AND ALL OTHER NECESSARY OPERATIONS REQUIRED FOR PROPER ESTABLISHMENT OF LAWNS AND PLANTINGS.
- CONTRACTOR TO SUBMIT UNIT PRICES ON EVERY TYPE OF WORK AS REQUESTED BY LANDSCAPE ARCHITECT.
- ALL LAWN AREAS WITHIN DASH PROJECT SITE TO RECEIVE 4-6" APPROVED TOPSOIL PRIOR TO SOODING OR SEEDED OPERATIONS.
- BACKFILL FOR TREE AND SHRUB PLANTING SHALL BE THE APPROVED TOPSOIL AND 25% APPROVED PEAT MOSS. TOP LAYER OF BACKFILL SHALL BE WORK EXISTING TOPSOIL. A 5-10-5 ANALYSIS SLOW RELEASE FERTILIZER SHALL BE INCORPORATED INTO BACKFILL AT APPROVED RATES.
- PROVIDE MINIMUM 6" PLANTING SOIL IN ALL GRASS COVER AND FLOWER AREA WITH A MIXTURE COMPOSED OF ONE PART COMPOSTED MANURE, 5 PARTS TOPSOIL AND 4 PARTS PEAT MOSS. A FULL 4" LAYER OF APPROVED SPRESSED PEAT MOSS MAY BE USED IN LIEU OF PLANTING MIX.
- LAWNS SHALL BE SOODED FOLLOWING SCALFYING, FINAL GRADING, FERTILIZING AND RAINING. LAWN AREAS SHALL BE FERTILIZED WITH B-B-B ANALYSIS FERTILIZER AT THE RATE OF 10 LBS/1000 SF. AND LIME APPLIED AS DICTATED BY SOIL TESTS PRIOR TO SEEDED.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL UTILITY COMPANIES 72 HOURS BEFORE CONSTRUCTION IS TO START TO VERIFY IF ANY UTILITIES ARE PRESENT ON SITE. ALL VERIFICATIONS (LOCATIONS, SIZE AND DEPTH) SHALL BE MADE BY THE APPROPRIATE UTILITY COMPANIES. WHEN EXCAVATIONS AROUND OR OVER EXISTING UTILITIES, THE CONTRACTOR MUST NOTIFY THE UTILITY COMPANY SO A REPRESENTATIVE OF THE UTILITY COMPANY CAN BE PRESENT TO INSTRUCT AND OBSERVE DURING THE EXCAVATION.
- TREE PRESERVATION NOTE: PROTECT EXISTING TREES THAT ARE TO BE SAVED BY ERECTING CONSTRUCTION FENCE AROUND THESE TREES BEFORE ANY SITE WORK BEGINS. PLACE FENCING AT LEAST AT THE DRUMLINE OF THE TREE AND FURTHER FROM THE TRUNK IF POSSIBLE. THE HEIGHT SHALL NOT EXCEED 4'-6". THE COMMERCIAL SPACE FRONT FACADE MAY CHANGE DEPENDING ON THE NUMBER OF TENANTS OCCUPYING THE SPACE (UP TO FOUR TENANTS MAY OCCUPY THE FIRST FLOOR).
- CHANGES TO THE LANDSCAPE PLANTING AT THE FRONT OF THE BUILDING TO ALLOW FOR FLEXIBLE TENANT SPACE ON THE FIRST FLOOR SHALL BE ALLOWED W/ THE CITY OF WEST LAFAYETTE GREENSPACE ADMINISTRATOR'S APPROVAL.

NARRATIVE (CONT.)

LIGHTING:
EXISTING POLE LIGHT TO REMAIN ON EAST SIDE OF THE BUILDING TO ILLUMINATE THE PEDESTRIAN TRAFFIC. WALL PACKS NOT TO EXCEED 400 WATTS WILL BE ADDED TO WEST SIDE OF THE BUILDING TO ILLUMINATE THE OFF-STREET PARKING. SURFACE MOUNTED, METAL-HALIDE LIGHTS WILL BE PLACED ABOVE THE PARKING LOCATED UNDER THE BUILDING. WALL SCENES WILL BE WIRED TO BATTERY A BACK-UP AT EACH EXIT DOOR FOR REQUIRED EGRESS LIGHTING REQUIREMENTS. THE FRONT ELEVATION SHALL BE LIT AT THE GRASS LEVEL WITH DECORATIVE ARCHITECTURAL WALL SCENES AS SHOWN ON THE TYPICAL ELEVATION.

PUBLIC ADDRESS SYSTEM:
NO PUBLIC ADDRESS SYSTEM WITH OUTSIDE LOUD SPEAKERS SHALL BE PERMITTED ON THE SITE.

HOURS OF OPERATION:
THE BUSINESSES LOCATED IN THE LEASABLE SPACE SHALL NOT BE RESTRICTED ON THEIR HOURS OF OPERATION. ALCOHOL MAY ONLY BE SERVED BETWEEN 10:00 AM AND 6:00 PM.

NETRANGE:
SEE SHEET B OF 10 FOR A TYPICAL ELEVATION SHOWING THE APARTMENTS AND RETAIL LEVELS. THE BUILDING HEIGHT SHALL NOT EXCEED 41'-6". THE COMMERCIAL SPACE FRONT FACADE MAY CHANGE DEPENDING ON THE NUMBER OF TENANTS OCCUPYING THE SPACE (UP TO FOUR TENANTS MAY OCCUPY THE FIRST FLOOR).

Revisions	By	Date	Symbol

This is an early design. It is subject to change without notice. The general notes, drawings and specifications are the only documents to be used by all contractors in the performance of any work under the contract. No other documents or specifications shall be used without the written approval of the architect.

See

KJG Architecture, Inc.
527 Sagamore Parkway W, Suite 101
West Lafayette, Indiana 47906
Office: 765.487.4598
Fax: 765.487.4599

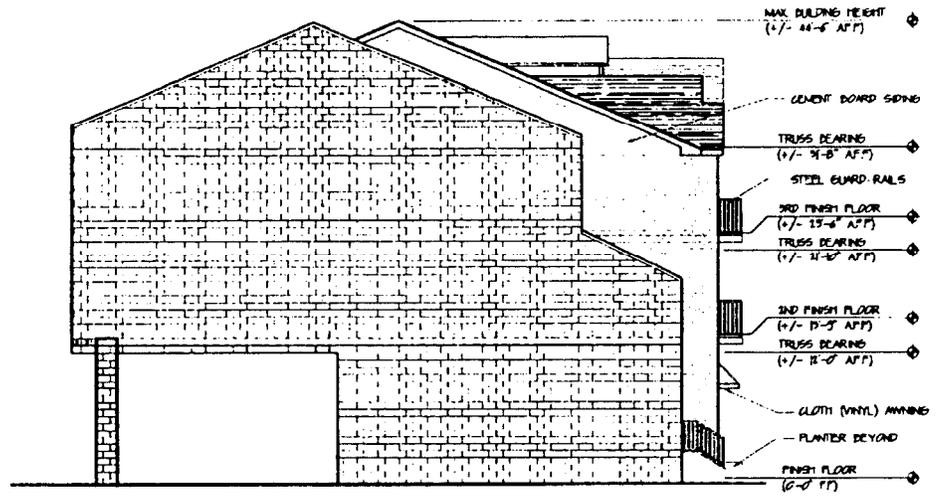


ARCHITECTURAL
LANDSCAPING PLAN
PROJECT
GLOBAL HOLDING
PLANNED DEVELOPMENT
WEST LAFAYETTE, INDIANA

Scale	AS SHOWN	Job No.	200433
Date	01/27/05	Drawn By	SKR
Sheet No.			

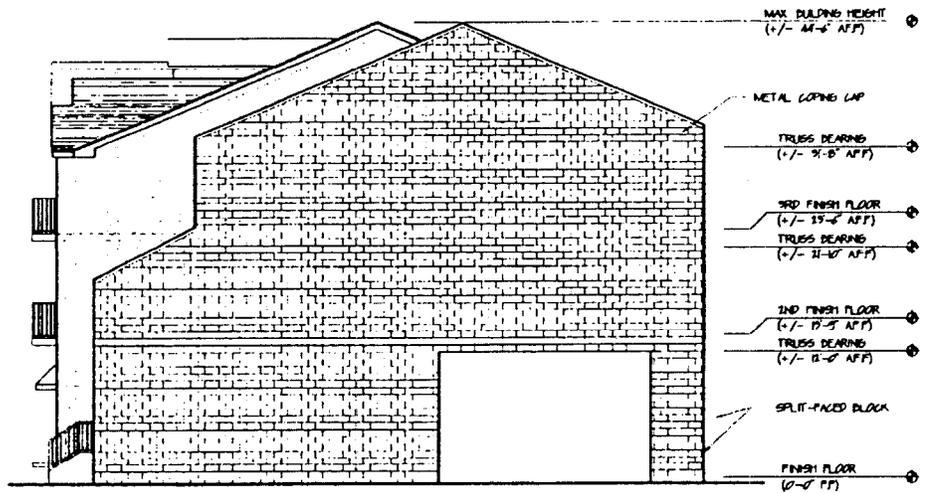
**SHEET
6 OF 10**

2-2253 6



TYPICAL SOUTH ELEVATION
SCALE 1/8"=1'-0"

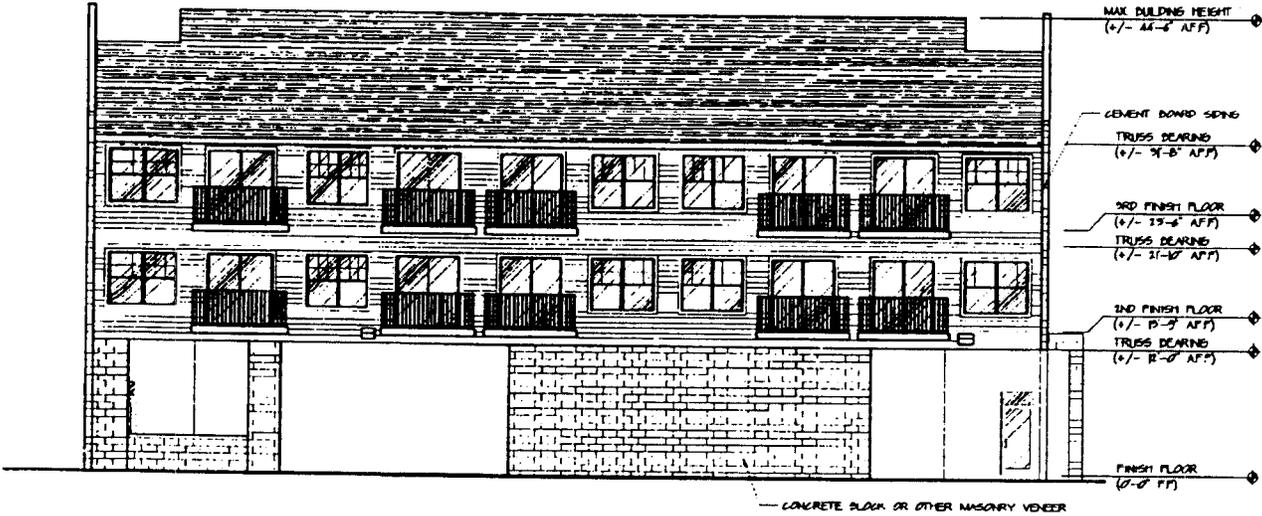
TYPICAL SOUTH ELEVATION MAY CONSIST OF MASONRY, EPS, CEMENT BOARD SIDING, BRICK AND/OR Limestone DETAILS. ROOFING MATERIAL SHALL BE AN ARCHITECTURAL GRADE ASPHALT SHINGLE.



TYPICAL NORTH ELEVATION
SCALE 1/8"=1'-0"

TYPICAL NORTH ELEVATION MAY CONSIST OF MASONRY, EPS, CEMENT BOARD SIDING, BRICK AND/OR Limestone DETAILS. ROOFING MATERIAL SHALL BE AN ARCHITECTURAL GRADE ASPHALT SHINGLE.

NOTE: NO CEMENT BOARD SIDING SHALL BE LOCATED WITHIN 10'-0" FROM GRADE.



TYPICAL WEST ELEVATION
SCALE: 1/8"=1'-0"

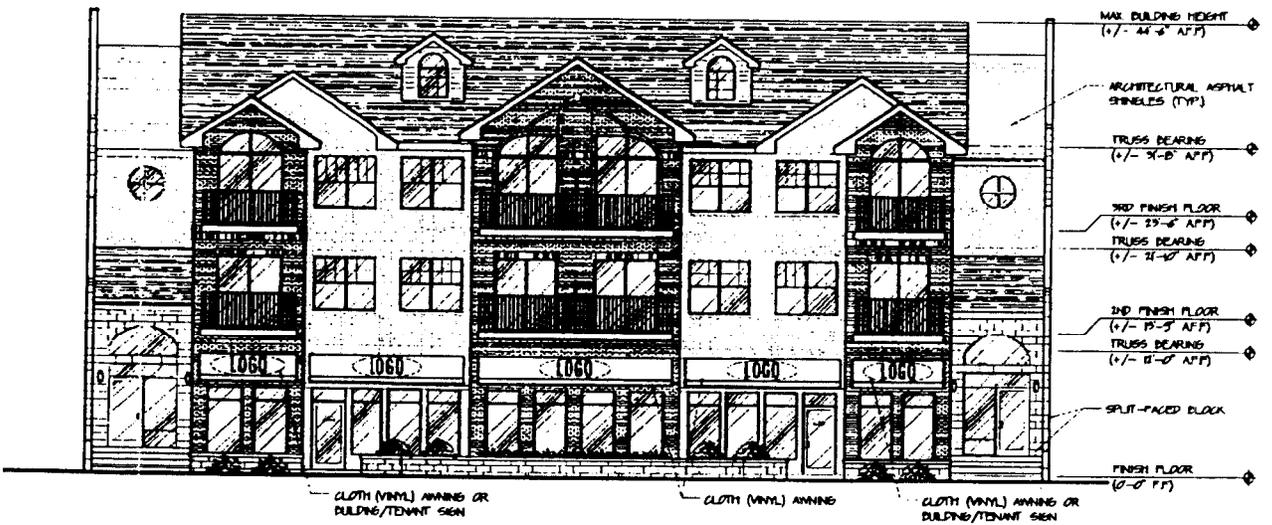
TYPICAL WEST ELEVATION MAY CONSIST OF MASONRY, EPS, BRICK, CEMENT BOARD SIDING, AND/OR Limestone DETAILS. THE ELEVATION MAY CONTAIN CONCRETE OR WOOD-FRAME DALCONES W/ STEEL GUARDRAILS. ROOFING MATERIAL SHALL BE AN ARCHITECTURAL GRADE ASPHALT SHINGLE.

Revisions	By	Date	Symbol

This is a preliminary drawing. It is subject to change without notice. The contractor shall verify all dimensions and conditions on site. The architect shall not be responsible for any errors or omissions. The contractor shall be responsible for obtaining all necessary permits and approvals. The architect shall not be responsible for any construction methods or materials not specified in the contract documents.

Sheet

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 West Lafayette, Indiana 47906
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TYPICAL EAST ELEVATION
SCALE: 1/8"=1'-0"

TYPICAL EAST ELEVATION MAY CONSIST OF MASONRY, EPS, BRICK AND/OR Limestone DETAILS. THE ELEVATION MAY CONTAIN CLOTH/VINYL ANNINGS, CONCRETE OR WOOD-FRAME DALCONES W/ STEEL GUARDRAILS, AND CEMENT BOARD SIDING-CLAD DORMERS. ROOFING MATERIAL SHALL BE AN ARCHITECTURAL GRADE ASPHALT SHINGLE. THIS COMMERCIAL SPACE FRONT FACADE IS SHOWN AS A TYPICAL FACADE. THE COMMERCIAL SPACE FRONT FACADE MAY CHANGE DUE TO THE NUMBER OF TENANTS OCCUPYING THE SPACE. THERE MAY BE UP TO (4) TENANTS ON THE FIRST FLOOR.

Sheet Title: **PRELIMINARY TYPICAL EXTERIOR ELEVATIONS**
 Project: **GLOBAL HOLDING PLANNED DEVELOPMENT WEST LAFAYETTE, INDIANA**

Scale: AS SHOWN
 Date: 07/27/09
 Job No: 2004033
 Drawn By: DCK

Sheet No.: **SHEET 8 OF 10**