

PRELIMINARY PLAN

720 NORTHWESTERN

PLANNED DEVELOPMENT

CBW TO PDMX
ZONING CASE # Z-2494

A PART OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 23 NORTH, RANGE 4 WEST,
WABASH TOWNSHIP, WEST LAFAYETTE, INDIANA



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CERTIFIED BY:

720 NORTHWESTERN
PLANNED DEVELOPMENT
South Street Capital, LLC
1315 Ferry St.
Lafayette, IN 47901

CONTACT INFORMATION

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PROJECT NO: 110338

FILE: 11038-GENERAL STADIUM.DWG

DRAWN BY:

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LOCATION:

A PART OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 23 NORTH, RANGE 4 WEST, WABASH TOWNSHIP, WEST LAFAYETTE, INDIANA

TITLE:

TITLE SHEET AND INDEX

G001

FILE: P:\2011\11038 Stadium Square\Drawings\PLANS\PRELIMINARY PLAN\1038-GENERAL STADIUM.dwg - USER: NICK DIGIACOMO - DATE: Monday, June 01, 2012 10:29:40 AM

Narrative
for
720 Northwestern Planned Development

Z-2494

A Mixed Use Development (CBW to PDMX)

City Of West Lafayette, Indiana

Adjacent to Purdue University Campus and Mackey Arena Athletic Complex

By

Petitioner:

South Street Capital

Contact: Matt Garrison, 1315 Ferry St., Lafayette, IN 47901 (773) 936-6466

April 30, 2012

REVISED MAY 30, 2012

Consultant / Design Team:

Legal: Daniel Teder- Law Firm of Relling Teder & Schrier, LLC

Architect: Thomas Pope, AIA- Hartshorne Plunkard Architecture

Engineer/Surveyor – Patrick E. Williams - TBIRD Design Services Corp.

3. Occupancy

Occupancy of a residential unit is limited to a maximum of one (1) person per bedroom within the residential unit except where the residential unit is occupied by a parent(s) and/or legal guardian(s) and his/her/their child/children living as a single household primary residence.

4. Building and Architecture Information

The design goal of 720 Northwestern is to respect and compliment the larger scale civic and institutional buildings across Northwestern Avenue, to incorporate "necessity" retail uses among others to reduce resident reliance on the automobile, and to serve as a residential buffer to the lower density residential neighborhood to the east. The residential building footprint has two enclosed courtyards, which allows an efficient floor plan and provides light to every bedroom. This courtyard concept serves many purposes, including: reducing the height of the structure below six (6) stories, maximizing natural light to the residential units, enhancing the retail presence out to the street in a pedestrian friendly manner, and hiding the parking structures either within the footprint or underground. The project has larger setback along both Allen Street and Northwestern Avenue, allowing for a large, landscaped sidewalk and "stepping back" the project from the neighborhood.

It is important to compliment the new Mackey Arena facility. The design element of the Mackey Arena facility is a simple yet elegant repetitive use of brick pilasters in-filled with storefront glass, with stone banding and panels at the base and a tall first floor. We took that scale and interpreted it with our façade by using a repetitive colonnade of brick clad and metal clad columns in front of the glass storefronts and a tall retail presence that is warm and pedestrian friendly. The use of repetition and similar masonry in our façade fits into the local context and compliments the larger Mackey building to the west. Additionally, we have set the building back from the neighborhood, incorporated heavy landscaping and textured sidewalk pavers, and used variations in materials and colors to downscale the façade and blend the building with its surroundings.

The prominent building corner at the intersection of Northwestern and Evergreen includes a glass and classic metal-clad corner element with architectural horizontal louvers, which will provide an interesting design element and mark the vibrant, pedestrian friendly and urban feel of this primary retail corner of the project. The street level storefront has also been set back further from the street to enhance the pedestrian friendliness at this high foot-traffic area.

At the retail storefront, the designated areas of the building wall are setback from the property line, to allow for the creation of landscaped seating and gathering spaces for the general public to enjoy. The site plan incorporates landscape and seating on both the public and private areas of the Project. The generous storefront setback at the corner of Northwestern and Evergreen is a vast improvement over the existing building location, which currently creates a sight distance problem for vehicles, but would be mitigated under the new plan.

Within the proposed structure, we have created a modern, harmonious and enjoyable environment for residents that will stand the test of time. At the second floor amenity space, there are two separate courtyard spaces, mixed with wood decking, paver blocks, planter walls, and private terraces, seating and other gathering elements. The courtyard is divided by a section of interior building, which overlooks each courtyard.

The building will incorporate a workout room, lounge, club and study areas. These interior gathering spaces will only be available for use by residents. The apartment units are intended to be initially furnished with basic appliances and living room and bedroom furniture; the owner would also accommodate tenants who do not wish to have their unit furnished on a case-by-case basis, or as market conditions dictate.

All units will enjoy abundant natural light and views. The design intent is to blend the building in with its surroundings by enhancing the urban appeal along Northwestern Avenue with unique and interesting façade design elements that then transition to a traditional brick façade towards the easterly, more residential, side of the project.

5. Outdoor Lighting

The Project lighting concept incorporates contemporary vertical pendant façade mounted lighting fixtures similar to those used at Mackey Arena. A series of vertical pendants will be mounted to the columns along the retail frontage. Additionally, there will be a series of ceiling mounted recessed lighting fixtures below the framed brick elements above the retail glass line. This same pattern will be continued around all sides of the proposed building in harmony with the aforementioned repetitive design

elements. Extended site lighting will include street and pedestrian walkway lighting. Lighting will not be directed toward the neighborhood.

6. Signage

The Project is known as 720 Northwestern ("Seven 20"), with project identification signage ("Project Identification Signs") located as shown on the preliminary plans

Retail signage along Northwestern Avenue will be placed above the glass line along the masonry. Additional interior signage will be permitted in the garage up to ten (10) square feet for each tenant ("Garage Signage").

Signage for the commercial uses shall be regulated in accordance with the requirements for the CBW zoning district (except Garage Signage) and as shown on the Signage Plan to be included with the Final Detailed Plans, including directional signage as follows:

Retail Building Signage: All retail tenants shall be allowed a maximum of 40 square feet per business per street frontage except as follows:

- o The tenant occupying the corner space at Northwestern Avenue and Evergreen Street shall be allowed a total of 80 square feet (for the two street frontages).
- o The tenant occupying the corner space at Northwestern Avenue and Dodge Street shall be allowed a total of 80 square feet (for the two street frontages).
- o All tenants shall be allowed up to 10 square feet of additional Garage Signage.

Exceptions: Flags, awnings, sandwich boards, address and business name plaques, wall mounted cases, Blade Signage, and other architectural elements will not be counted against the allowable square footage of Retail Signage.

- o Awnings: Maximum of 10 square feet per tenant for lettering/logos on awnings.
- o Sandwich Boards: Moveable/collapsible chalkboards typically used to display daily specials of size not to exceed 2.5 feet x 4 feet, or 10 square feet maximum per side.
- o Wall Mounted Case: Used for menus and/or attractions, not to exceed 2 feet x 3 feet, or 6 square feet total per retail space
- o Sandwich Boards will be restricted on game-days to keep the sidewalks clear

Blade Signage: (vertical signs hanging perpendicular to façade):

- o Retail/Business Blade Signage: Each retailer or business may install 1 blade sign per side of building face with standard dimension 2 feet wide x 4 feet high and mounted not lower than ADA clearance requirement (e.g. – 2 for a corner business). Such signs shall be wall or soffit-mounted and hang perpendicular to the building and which sign area does not count against the allowable Retail Building Signage.
- o Project Blade Signage: The owner or developer shall be allowed to install up to 6 blade signs total per street frontage, plus the main Project Identification Blade Sign shown in the Plans.
- o Blade signs cannot extend over the property line

Window Signage: (window adhesive commercial signage):

- o Window Signage will be permitted for the commercial tenants only and is intended to be seasonal or temporary in nature that does not detract from the street side appearance of the building. Total window signage shall not be more than 15% of any individual window area, shall not be cumulative for a tenant among multiple window groups that are separated by a building column/pilaster, and will be subject to approval by the West Lafayette Administrative Officer.

Prohibited Sign Types:

- o Backlit box signs with transparent or translucent faces.
- o Signs with moving or flashing lights (strobes, chasers, LED, etc.).
- o Customizable message "reader" board signs, Portable signs.

7. Parking

The Project de-emphasizes reliance on the automobile by putting residents in a live-work-play-shop environment where they do not need a car to get around campus and the city, or have to drive long distances to shop for necessity items. Nonetheless, the Project maintains a sustainable level of parking to accommodate all the reasonable demand from building residents, tenants, and customers of tenants.

The Project utilizes an efficient parking design that will include full size, compact size, and tandem parking spots of both. In order to efficiently manage the tandem parking

Planned Development ("PD") Narrative

720 Northwestern PD

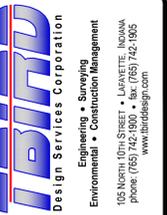
1. Project Overview

720 Northwestern (the "Project") is comprised of the assemblage of three (3) parcels occupying an entire city block, directly across from the new Purdue University Mackey Arena complex on Northwestern Avenue, in West Lafayette, Indiana. The streets bordering the proposed project are Northwestern Ave (W), Dodge St (N), Allen St (E) and Evergreen St (S). Presently, the site is improved with older properties, including a retail center, an apartment building and a Regions Bank branch. This Project will anchor the northern gateway to campus, complimenting the recent Mackey Arena renovation, creating a vibrant, pedestrian friendly environment.

720 Northwestern will be a five (5) story tall, mixed-use structure containing two levels of underground parking, one story of retail, and four (4) stories of apartments above. The Project will include approximately 41,825 square feet of retail space, up to 230 units of apartments containing a maximum of 490 beds, as well as of 435 total parking spaces (400 internal private parking spaces, 35 external public parking spaces), 16 motorcycle spaces, 68 on-street bike parking spaces, and 84 internal bike parking spaces.

2. Existing Conditions and Zoning History

The site is comprised of three parcels, presently zoned CBW. These parcels include a neighborhood retail center, an apartment building and a bank. All of these buildings were constructed 30+ years ago and are either functionally obsolete or near the end of their useful life. The Project presents an opportunity to replace these older structures with a state of the art facility to be a "gateway" to West Lafayette and Purdue University and provide housing for Purdue's growing student enrollment immediately adjacent to the campus, and not in a distant "farm field" development. The existing buildings sit immediately next to the Northwestern Avenue right-of-way, and create a distance visibility hazard, whereas the new project will incorporate larger setbacks to make the area a more pedestrian friendly environment and enhance the sight distance, which could serve to improve traffic safety in the area. The new site layout will better accommodate the large number of visitors who attend Purdue University sporting events in the area.



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3	5-23-12	Progress Meeting
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1	4-26-12	PRELIMINARY APC MTG

PROJECT NO: 11038

FILE: 11038-GENERAL STADIUM.DWG

DRAWN BY:

CHECKED BY:

LOCATION:

A PART OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 23 NORTH, RANGE 4 WEST, WABASH TOWNSHIP, WEST LAFAYETTE, INDIANA

TITLE:

NARRATIVE

G002

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spots, systems will be in place that will ensure ease of access for residents. The Project will provide beds for on-site property management employees who are residents, one of whom will be on-staff with around the clock access to keys for access and emergencies. First and foremost, tandem spots will be available for residents to park their cars for those who anticipate using them less frequently. The tandem spaces shall be assigned to residents with cars who live in the same unit (that is, units with more than one bed with multiple cars) so roommates can arrange parking in the eventuality they utilize 1-3 of the tandem spaces. All tandem space users shall keep copies of their keys in the management office. There will also be four parking spaces reserved in the ground level garage for property management and prospective tenants.

720 Northwestern Avenue PD - City of West Lafayette, IN
Purdue University

Date: May 22, 2012
Revised: May 30, 2012

Location	Use or Tenant	Proposed Spaces	Full Size	Compact
Sub-Basement Parking (L2)	Residential	154	82	72
Basement Parking (L1)	Residential	217	117	100
Sub-Total Basement Parking	Residential	371	199	172
1st Floor Garage Parking	Commercial, per Narrative Includes 4 spaces for building management and prospective tenants	34	23	6
Sub-Total Internal (Basement+Garage) Parking	Private	405	222	178
(includes Internal ADA Accessible spaces)		5	7 car, 2 van	NA
Internal Motorcycle Parking		16	NA	NA
Total Internal Vehicle Parking	Private	421	NA	NA
Additional Design Elements				
Potential Car Share Parking Spaces	Subject to Narrative	4	4	NA
Potential Car Share Effective Parking	Effective parking per Car Share space (not proposed)	14	52	52
Sub-Total Internal + Car Share Effective Parking	Private	435		
On-Street Parking	Public, Customers (incl. 3 spaces for customer loading for current tenant)	35	35	NA
Off-Peak Shared Parking Spaces	Commercial (after hours spaces available per Narrative) Includes 4 spaces for building management and prospective tenants available after hours	9	9	NA
Total Internal + CS Effective + On-Street Vehicle Parking	All	517		
Bike Parking (On-Street)	Public	88		
Bike Parking (Internal)	Private	84		
Bike Share Spaces (Internal)	Private	20		
Grand Total Available Parking Spaces, All Modes	All	629		

Examples of parking guidelines for commercial employees and customers:

Use	Employee spaces	Customer spaces
Fast food restaurant	1	0
Fast food restaurant with delivery	4	0
Book/gift store/florist shop, tobacco, newsstands and news dealers/liquor store/used merchandise store	2	0
Financial with ATM*	3	1
Beauty salon	6	6
Drug store (>12,000 sq. ft.)	6	6
Grocery (>12,000 sq. ft.)	5	15
Manufacturing, retail, finance, insurance, and real estate (< 3,000 sq. ft.)	1	1
Services, Public Administration (< 3,000 sq. ft.)	1	1

*closed between 6:00 p.m. and 8:00 a.m. Monday through Saturday and all day Sunday, with ATM open 24 hours a day

Parking for any commercial use that is not within the above parking guidelines shall be based upon similar parking standards used in the area as determined by the Administrative Officer as a minor modification; however, the total commercial/retail parking spaces for both employee and customer use shall not exceed forty (40) parking spaces. The Project also incorporates and improves the public street parking available on Evergreen, Allen, and Dodge to a total of 35 public street spaces that may be metered for public use and intended for short-term use by customers of the retail tenants of the Project, subject to Administrative Officer approval. Some of the retail tenants in the Project are current tenants of the existing property and require short-term use spaces for business delivery operations. On-street parking spaces designated and signed for commercial loading will be made available for this purpose. The number of spaces, location and terms of use are subject to the approval of the Administrative Officer.

At the Administrative Officer's approval, the total number of parking spaces required may be reduced as a Minor Modification provided the owner furnishes a parking report

or reports over a period of time acceptable to the Administrative Officer that shows the actual number of parking spaces utilized by residents and tenants of the building to be less than those provided. The number of required parking spaces may also be reduced as a Minor Modification upon the approval of the Administrative Officer if the Unified Zoning Ordinance requirements for parking spaces are reduced below the number of spaces provided for the Project. The owner shall include parking in the lease as a month-to-month option on parking spaces for the Residential parking areas (in the Basement and Sub-Basement levels of the building) and shall make those Residential spaces available in the following order of priority: 1) each Unit shall have access to at least one parking space; 2) tandem spaces should be assigned to residents living in same Unit in the 2-4 bed Units who have a car; and 3) to licensees or lessees parking spaces as approved by the Administrative Officer in connection with a reduction in parking requirements described in this paragraph. Any remaining residential spaces shall be assigned to the residents by the owner on a first come, first served basis with an emphasis on assigning tandem spaces to the higher bedroom count units so that the residents of that unit can share the tandem spaces according to their own arrangement. If, during the period of the lease, a unit's occupant does not need the parking space available for that Unit, the Owner may lease it out to another tenant and credit the tenant accordingly.

8. Green Space

Within the Project, generous courtyards and sun decks will be landscaped with planters, green areas and have abundant natural light. Planters shall include at a minimum of four (4) different species from the approved City list. Along the streetscape, we have pulled the retail frontage in from the property line in several areas to allow for trees, and architectural pavers and design elements that will create an open, pedestrian friendly environment. Green space calculations do not include pavers as part of the green space, however pavers can reduce water runoff due to their permeability.

9. Trash

The Project will contain an internal trash chute system that will consolidate waste in a defined trash area near the loading dock for ease of access. The developer will work directly with the waste management company to establish trash removal dates and

times in an effort to reduce disruptions to both the Project and the surrounding neighborhood to the east.

The retail space will have a separate trash area near the loading dock, which will be accessible to all retail tenants via an interior common corridor.

Exterior trash receptacles will be placed on site and emptied and cleaned by onsite property management.

10. Bikes

The Project is a state of the art, pedestrian friendly project both in appearance and functionality. A cornerstone of this effort is to discourage the use of vehicles by residents on a daily basis and to encourage foot and bicycle traffic. We will provide a secure bicycle room to encourage residents to cycle around campus rather than drive. The owner shall provide a bicycle sharing program for use by the residents. A minimum of 20 bikes will be provided in the bicycle room for the bike sharing program with conditions of use and maintenance of the bikes provided by the owner.

The bike parking system will include indoor, secure storage at the first floor accessible from the parking garage. Bike storage will be accommodated through vertical racks with locking devices. The room itself will be secure with electronic keypad access and security cameras. Additionally repair tools and air pumps will be available in the bike room.

The Project will also incorporate sidewalk bike racks to encourage both retail customers and tenant guests not to drive to the Project.

11. Commercial Loading Zone/Traffic

Loading for the site is addressed through the use of two (2) partially recessed loading zones. The Project will have two (2) loading zones: one residential interior loading zone accessed from the first level garage, and one commercial/retail loading dock accessed via a roll-up door along Dodge Street.

The commercial loading zone will accommodate a full size tractor-trailer truck. We anticipate that retail service trucks will access the site via Northwestern Avenue, so the

loading zone location will be near the middle of the block between Northwestern and Allen, to allow trucks adequate distance to pull off Northwestern and back into the dock, yet be sufficient distance from Allen Street.

The residential zone allows direct access to the 2nd residential lobby and elevator bank.

Pedestrian access to the Project will be at various locations as well as through the garage. Vehicular access will be via Allen Street and Dodge Street. Subject to the approval of the Administrative Officer, a Management of Traffic Plan will be attached to the Final Detailed Plans to indicate maintenance of traffic during construction of the Project.

Parking time restrictions on the residential loading zone and delivery time restrictions on the commercial loading zone shall be established at the reasonable discretion of the Administrative Officer.

12. Neighborhood Considerations

The Project was designed to act as a transitional zone between the large-scale buildings of the Purdue University campus and the lower density residential neighborhood to the east. The Project has succeeded in this design consideration and will ultimately help draw student activity from the neighborhood to the denser area along Northwestern Ave. We have met with numerous residents and community leaders and incorporated much of their input into the project. We have taken care to ensure that residents of the Project will have adequate parking. The Project will not compound or worsen neighborhood parking conditions.

13. Shared-Car Concept

Shared-car (or "Car Share") programs are consistent with our vision of a pedestrian friendly, low impact and sustainable development. In order to justify our efficient parking design the owner will have the option to implement a shared-car program similar to Zipcar or Hertz on Demand. If a shared-car vendor is not available to implement a shared-car program, the owner of the Project has the option to implement a private shared-car program. Either the shared-car vendor program or the optional private shared-car program is subject to the approval of the Administrative Officer prior to implementation. Each shared car in a program shall count for a maximum of 14

required residential parking spaces. The Administrative Officer may reduce required residential parking accordingly with approval. A maximum of four (4) shared-cars is allowed, and the location of the spaces is subject to Administrative Officer review and approval. In the event the initial proposed grocery anchor tenant vacates the Project, the Administrative Officer may perform an audit of the actual parking used by the Project's tenants and may require the implementation of a private car-sharing program for up to the maximum shared-car spaces allowed above.

14. Approved Uses

The uses for this Project are attached as Table A – Allowable Uses:



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MARK	DATE	DESCRIPTION
4	5-30-12	APC PRELIMINARY PLAN SUBMITTAL
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PROJECT NO: 110338

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TABLE A -- ALLOWABLE USES
720 Northwestern
Allowed Land Use List by Standard Industrial Classification Code (SIC):

For clarity, the following allowed uses and noted exclusions will be applied to this PD based upon the associated SIC number as indicated below:

- Residential Uses**
 - 6513 Multi-family housing
- Manufacturing (1), (2)**
 - 205 Bakery products
 - 27 Printing and publishing
- Transportation and Public Utilities**
 - 43 U.S. Postal Service
 - 48 Communications
- Retail**
 - 523 Paint, glass and wallpaper stores
 - 525 Hardware stores
 - 53 General merchandise
 - 54 Food stores
 - 56 Apparel and accessory stores
 - 57 Furniture and home furnishings stores
 - 58 Eating and drinking places (3), (5)
 - 59 Miscellaneous retail
 - 591-596, 599
- Finance, Insurance, and Real Estate**
 - 60 Depository institutions with drive through and ATM
 - 61 Non-depository institutions with drive through and ATM
 - 62 Security and commodity brokers
 - 63 Insurance carriers
 - 64 Insurance agents, brokers, and service
 - 65 Real estate
 - 65 Apartment rental office (3)
 - 66 Holding and other investment offices
- Services**
 - 72 Personal services
 - 73 Business services
 - 76 Miscellaneous repair services
 - 79 Amusement and recreation service (4)
 - 80 Health services

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- 81 Legal services
- 83 Social services
- 86 Membership organizations
- 87 Engineering and management services
- 88 Private households
- 89 Services

Public Administration

- 91 Executive, legislative and general
- 92 Justice, public order and safety
- 93 Finance, taxation and monetary policy
- 94 Administration of human resources
- 95 Environmental quality and housing
- 96 Administration of economic programs
- 97 National security and international affairs, including military recruiting offices

Special Provision: Any use not specifically allowed or prohibited in this section may be considered by the Administration Officer for inclusion or exclusion depending on circumstances.

General Exclusions

- Adult entertainment
- Car sales

- (1) Must have a retail component associated with the manufacturing activity.
- (2) No open outdoor storage allowed.
- (3) No drive in or drive through permitted.
- (4) No "adult entertainment business" activities as defined in the New Unified Zoning Ordinance (NUZO).
- (5) Sales of alcoholic beverages are limited to the hours of 11:00 a.m. to 1:00 a.m.

14



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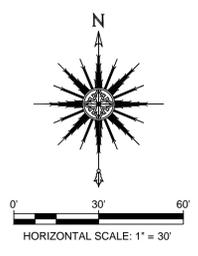
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G004

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LEGEND		
	=	SOIL TYPE BOUNDARY (BEYOND LIMITS OF VIEWPORT)
	=	EXISTING STORM SEWER
	=	EXISTING STORM STRUCTURE
	=	EXISTING SANITARY SEWER
	=	EXISTING SANITARY STRUCTURE
	=	EXISTING WATERMAIN

SOILS LEGEND		
SOIL	NAME	HYDROLOGIC GROUP
UcA	Urban Land - Carmi Complex	N/A



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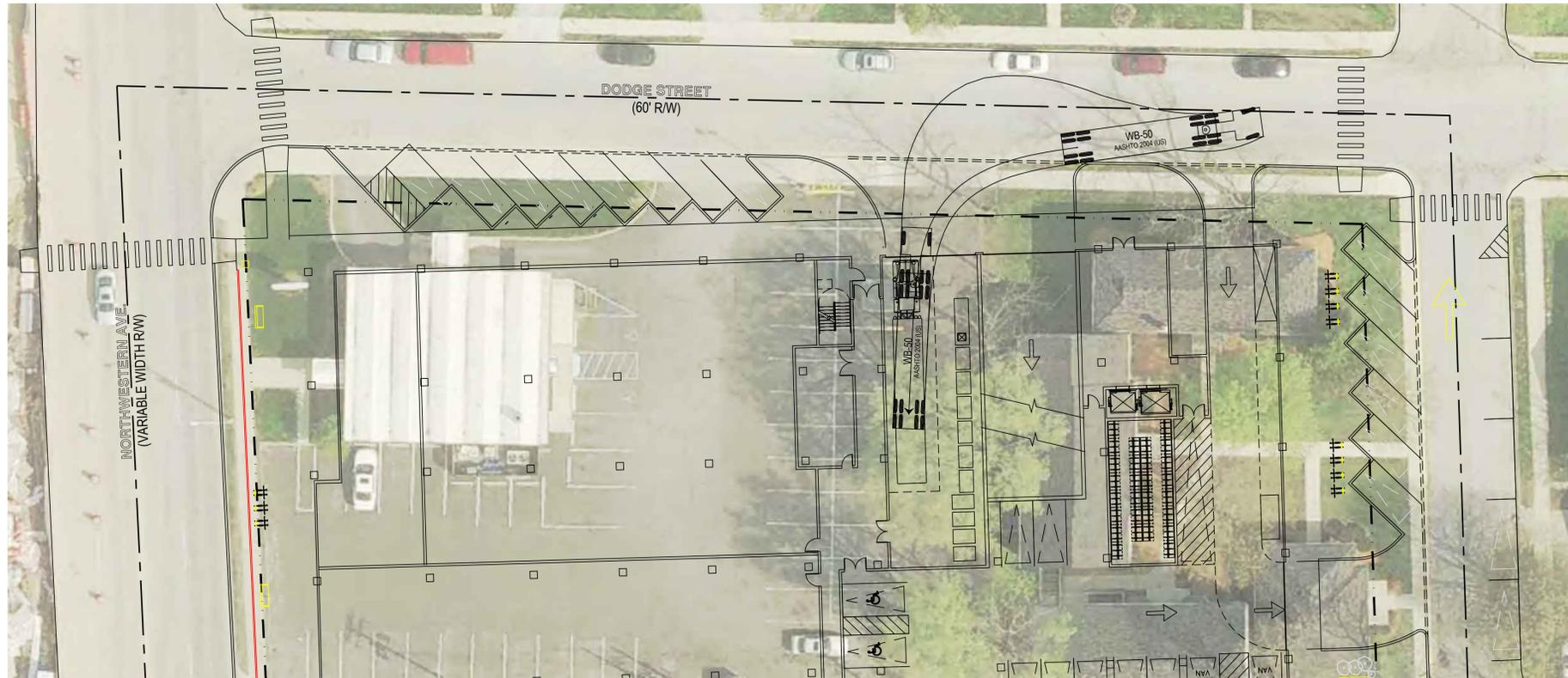
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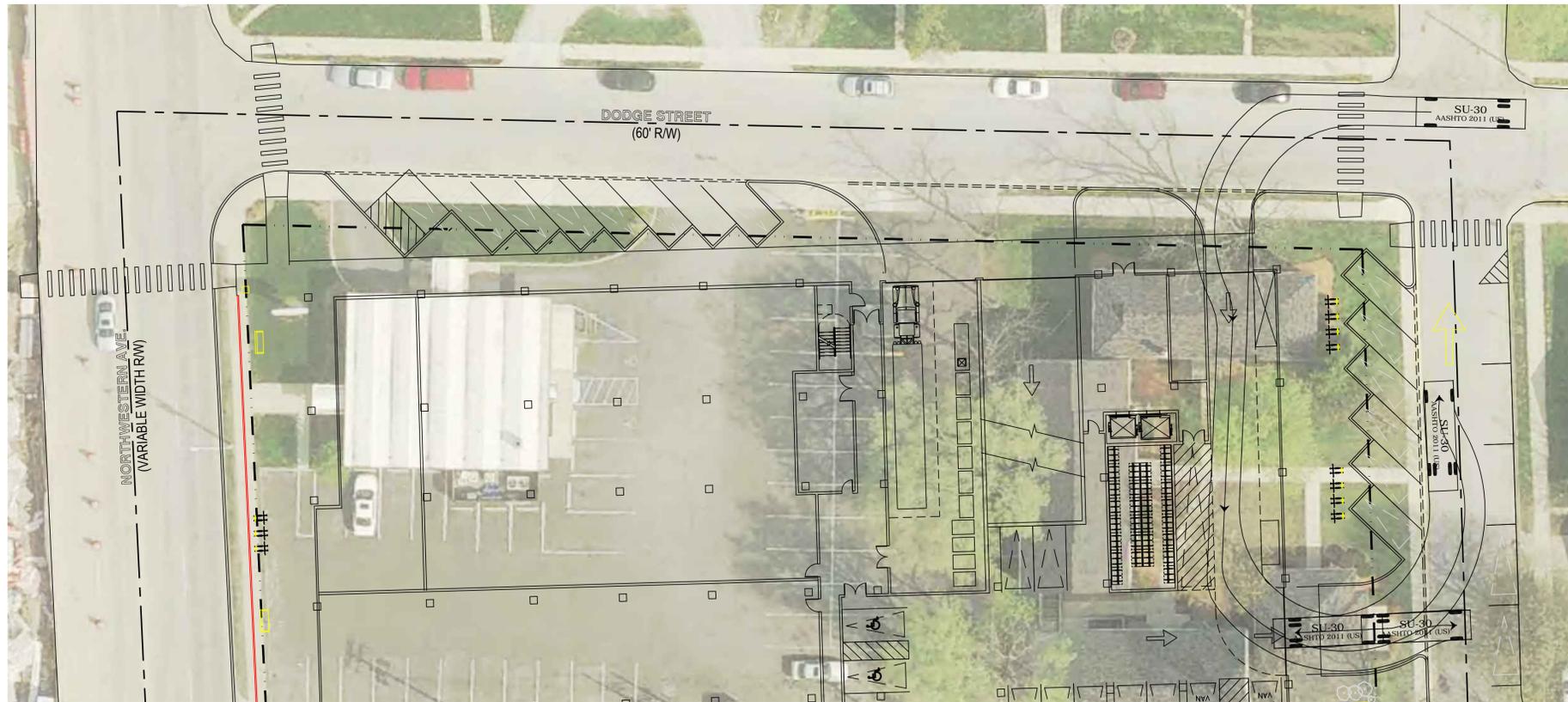
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**EXISTING
SITE & UTILITY
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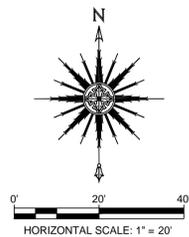
C101



WB-50 TURNING TEMPLATE (AASHTO 2004)



SU-30 TURNING TEMPLATE (AASHTO 2011)



FILE: P:\2011\11038 Station Square\Drawings\Layouts & Exhibits\11038-LOADING DOCK AUTOTURN 2.dwg - USER: NICK DIGIACOMO - DATE: Wednesday, May 30, 2012 3:57 PM



CERTIFIED BY:

**720 NORTHWESTERN
PLANNED DEVELOPMENT**
South Street Capital, LLC
1315 Ferry St.
Lafayette, IN 47901

MARK	DATE	DESCRIPTION
4	5-30-12	APC PRELIMINARY PLANS SUBMITTAL
3	5-23-12	Progress Meeting
2	5-14-12	APC Meeting - Draft Plan
1	4-26-12	PRELIMINARY APC MTG

PROJECT NO: 11038
FILES-LOADING DOCK AUTOTURN 2.DWG
DRAWN BY:
CHECKED BY:
LOCATION:
A PART OF THE SOUTHEAST QUARTER
OF SECTION 18, TOWNSHIP 23 NORTH,
RANGE 4 WEST, WABASH TOWNSHIP,
WEST LAFAYETTE, INDIANA

TITLE:
**AUTO-TURN
EXHIBITS**

C102

PRELIMINARY PLAT 720 NORTHWESTERN PLANNED DEVELOPMENT

A PART OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 23 NORTH, RANGE 4 WEST, WABASH TOWNSHIP, WEST LAFAYETTE, INDIANA

LEGAL DESCRIPTION

PARCEL I
Lot numbered twenty (20) in Harvey's Evergreen Plat of West Lafayette, Indiana, as platted upon part of the West half of the Southeast Quarter of Section Eighteen (18), Township Twenty-three (23) North, Range Four (4) West.

ALSO Lot numbered twenty-one (21) in Harvey's Evergreen Plat of West Lafayette, Indiana, as platted upon part of the West Half (1/2) of the Southeast Quarter (1/4) of Section Eighteen (18), in Township Twenty-three (23) North, Range Four (4) West.

EXCEPT Thirty (30) feet of even width off of and from the entire south end of the above described lot numbered twenty-one (21). All located in the City of West Lafayette, Tippecanoe County, State of Indiana.

ALSO, Thirty (30) feet of even width off of and from the entire south end of lot twenty-one (21) in Harvey's Evergreen Plat of West Lafayette, Indiana, as platted upon part of the West Half of the Southeast Quarter of Section Eighteen (18), in Township Twenty-three (23) North, Range Four (4) West.

ALSO Lot numbered twenty-two (22) in Re-Plat of Lots twenty-one (21) to twenty-six (26) inclusive, in Harvey's Evergreen Plat of West Lafayette, as platted upon a part of the West half of the Southeast Quarter of Section Eighteen (18), in Township Twenty-three (23) North, Range Four (4) West.

ALSO, The North half of lot numbered twenty-three (23) in Harvey's Evergreen Plat to West Lafayette, Indiana as shown by the Re-Plat of Lots Twenty-one (21) to Twenty-six (26) inclusive in Harvey's Evergreen Plat recorded in Deed Record 103 at Page 285 in records of Tippecanoe County.

ALSO The South one-half (1/2) of lots numbered twenty-two (22) and twenty-three (23) in Harvey's Evergreen Plat of West Lafayette, Indiana, as platted upon part of the West half of the Southeast Quarter of Section Eighteen (18), in Township Twenty-three (23) North, Range Four (4) West. Located in Wabash Township, Tippecanoe County, Indiana.

PARCEL II
Lots numbered eighteen (18) and nineteen (19) in Harvey's Evergreen Plat of West Lafayette, Indiana, as platted upon part of the West Half of the Southeast Quarter of Section Eighteen (18) in Township Twenty-three (23) North, Range Four (4) West. Located in Wabash Township, Tippecanoe County, Indiana.

ALSO Lot numbered twenty-nine (29) in Harvey's Evergreen Plat of West Lafayette, Indiana, as platted upon part of the West Half of the Southeast Quarter of Section Eighteen (18) in Township Twenty-three (23) North, Range Four (4) West. Located in Wabash Township, Tippecanoe County, Indiana.

PARCEL III
Lots Twenty-four (24), Twenty-five (25), Twenty-six (26) in replat of Lots Twenty-one (21) through Twenty-six (26) inclusive, in Harvey's Evergreen Plat of West Lafayette;

ALSO Lots Twenty-seven (27) and twenty-eight (28) in Harvey's Evergreen Plat of West Lafayette, as platted upon part of the West Half of the Southeast Quarter of Section Eighteen (18), Township Twenty-three (23) North, Range Four (4) West.

EXCEPT that portion of Lot Numbered 24 conveyed per a Right-of-Way Grant to State Highway Department of Indiana, recorded January 21, 1959, and recorded as Book 262, Page 326, in the Office of the Recorder of Tippecanoe County, Indiana. Located in Wabash Township, Tippecanoe County, Indiana.

LAST INSTRUMENT CONVEYING TITLE TO SUBJECT PROPERTY:

PARCEL I
Title Holder: Union Planters Bank, National Association
Document Number: 19990906604
Property Number: 79-07-18-462-003.000-026, 79-07-18-462-004.000-026, 79-07-18-462-005.000-026, 79-07-18-462-006.000-026, 79-07-18-462-007.000-026, 79-07-18-462-008.000-026, 79-07-18-462-009.000-026

PARCEL II
Title Holder: General Campus VII, LLC
Document Number: 200808014330
Property Number: 79-07-18-462-001.000-026, 79-07-18-462-002.000-026, 79-07-18-462-014.000-026

PARCEL III
Title Holder: Stadium Capital, LLC
Document Number: 200909016280
Property Number: 79-07-18-462-010.000-026, 79-07-18-462-011.000-026, 79-07-18-462-012.000-026, 79-07-18-462-013.000-026

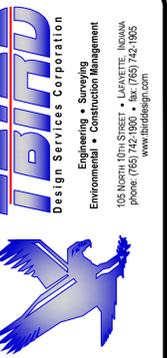
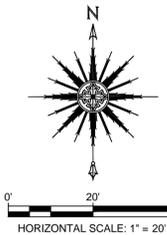
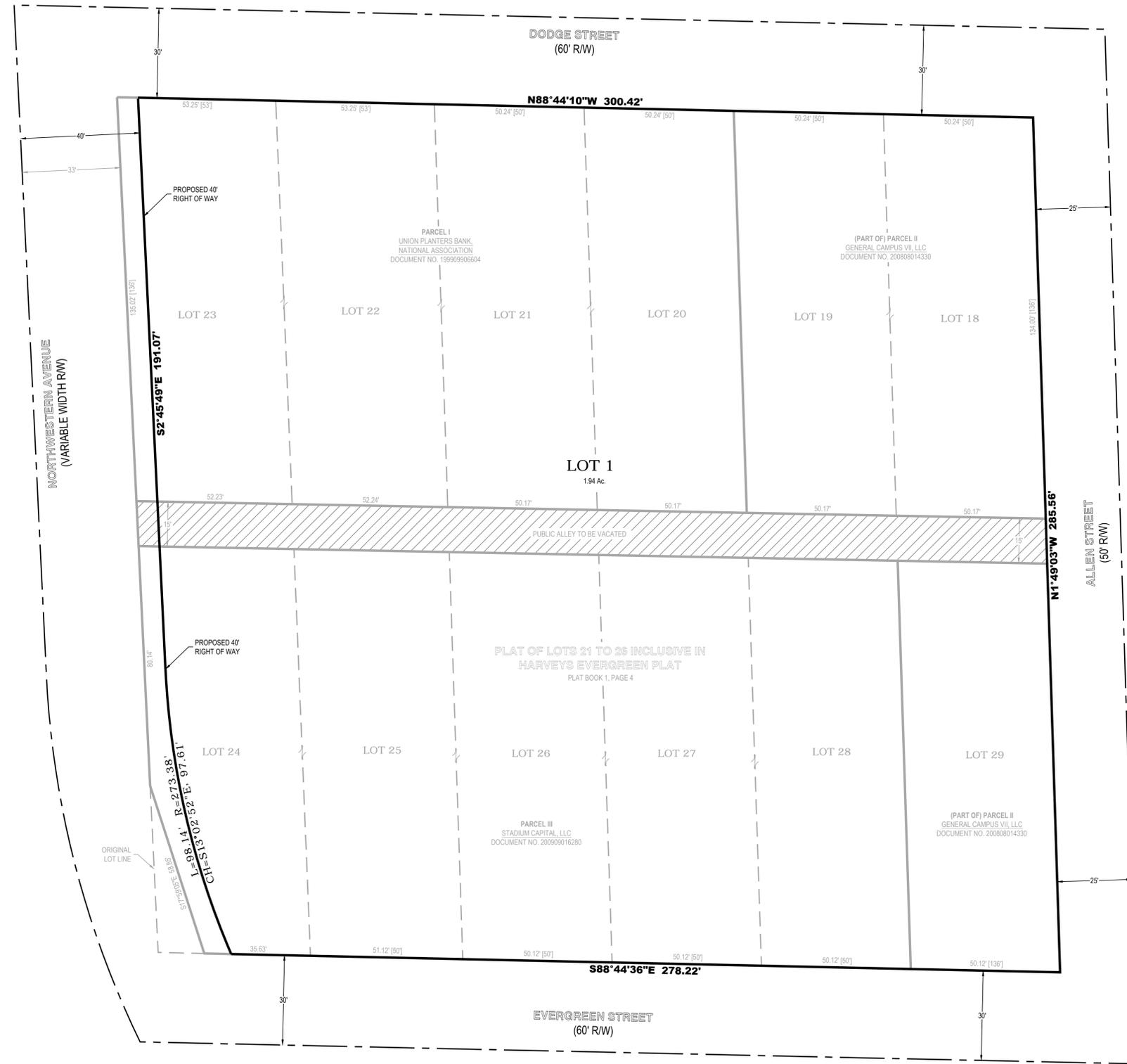
LAND SURVEYOR'S CERTIFICATE

The undersigned, a Registered Professional Land Surveyor of the State of Indiana does hereby certify that the above preliminary plat was prepared under his direct supervision.

CERTIFIED BY Patrick E. Williams 5-30-12
Date

SURVEY NOTE

This drawing does not represent a boundary survey of the property depicted. This plat has been prepared pursuant to Section B-1 (Preliminary Plats for PUD Submissions), of the Unified Zoning Ordinance of Tippecanoe County, Indiana as adopted January 2, 1998 (amended) and is based on survey work by Butler Fairman & Seufert, Document Number 201010024150.



CERTIFIED BY:

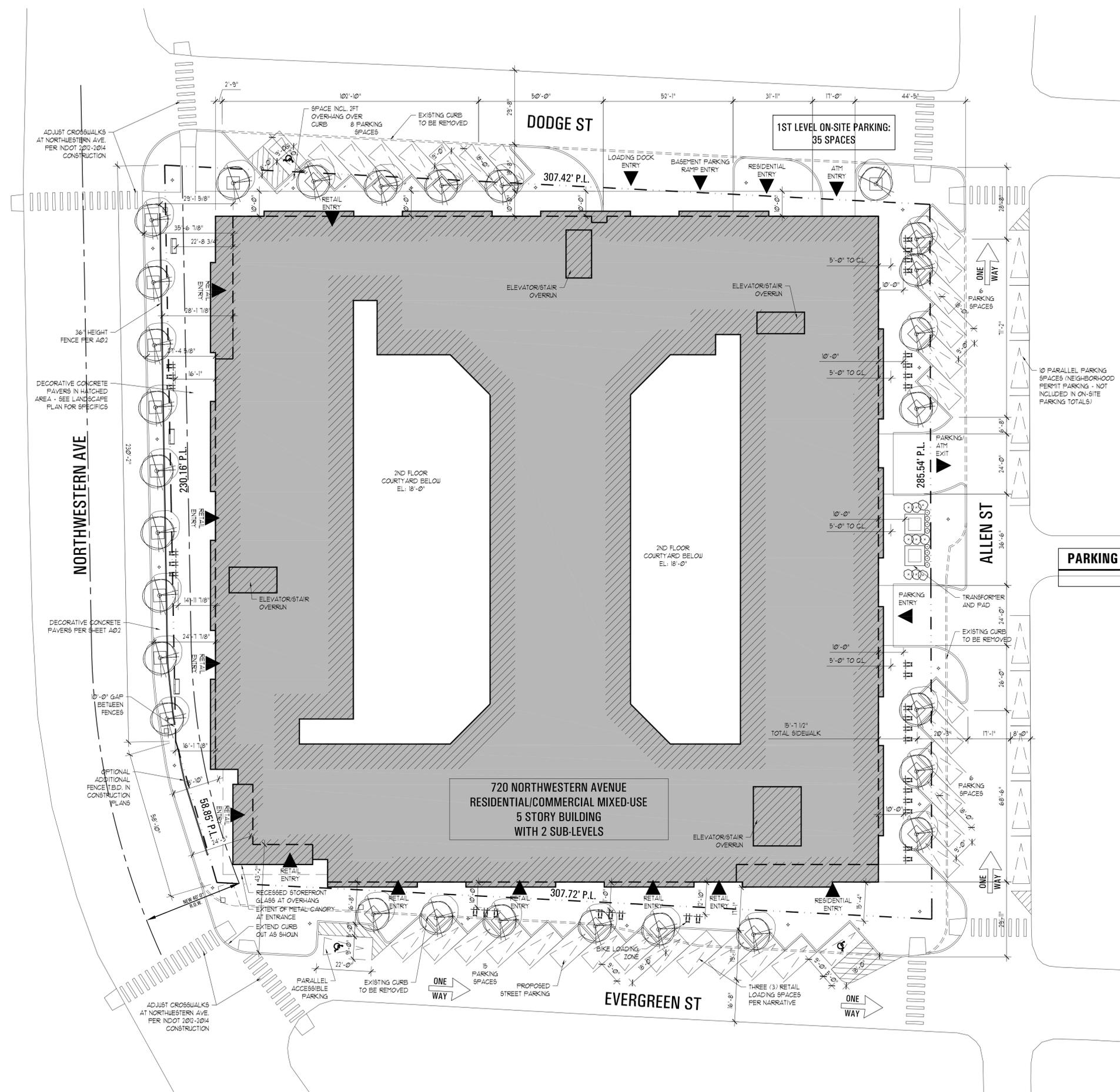
720 NORTHWESTERN
PLANNED DEVELOPMENT
South Street Capital, LLC
1315 Perry St.
Lafayette, IN 47901

MARK	DATE	DESCRIPTION
4	5-30-12	APC PRELIMINARY PLAN SUBMITTAL
3	5-23-12	Progress Meeting
2	4-14-12	APC Meeting - Draft Plan
1	4-26-12	PRELIMINARY APC MEETING

PROJECT NO: 11038
FILES: PRELIMINARY PLAT STADIUM.DWG
DRAWN BY:
CHECKED BY:
LOCATION:
A PART OF THE SOUTHEAST QUARTER OF SECTION 18, TOWNSHIP 23 NORTH, RANGE 4 WEST, WABASH TOWNSHIP, WEST LAFAYETTE, INDIANA
TITLE:
PRELIMINARY PLAT

V101

FILE: P:\2011\1038 Stadium Square\DWG\SPANS\PRELIMINARY PLAT\1038-PRELIMINARY PLAT STADIUM.DWG - USER: T.M. BALENGER - DATE: Tuesday, May 29, 2012 8:43:30 AM



BUILDING SUMMARY INFORMATION	
TOTAL GROSS AREA:	414,530 SF
TOTAL RETAIL AREA:	41,825 SF
TOTAL PARKING AREA:	120,195 SF
TOTAL RESIDENTIAL AREA:	191,410 SF
TOTAL UNIT COUNT:	230 UNITS MAX
TOTAL BED COUNT:	490 BEDS MAX

PARKING SUMMARY - SEE NARRATIVE ON SHEET A0.x

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval on conformity to Architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertinent to all disciplines occurs throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document set and site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Harshorne Plunkard, LTD. shall retain all copyrights, statutory and common law right with regard to these plans and building design.

720 Northwestern
 Student Housing
 CBW to PDMX
 720 Northwestern Ave
 West Lafayette, IN

DATE	ISSUED FOR
04/26/12	APC MEETING-DRAFT PLAN
05/14/12	APC MEETING-DRAFT PLAN
05/23/12	PROGRESS

hpa
 Harshorne Plunkard Architecture
 232 North Carpenter, Chicago IL 60607
 P 312 226 4488
 F 312 226 4499
 www.hparchitecture.com

CK. BY:	TP
DN. BY:	JO
DATE:	07/11 PROJECT START
SCALE:	AS NOTED
PROJ. #	0903

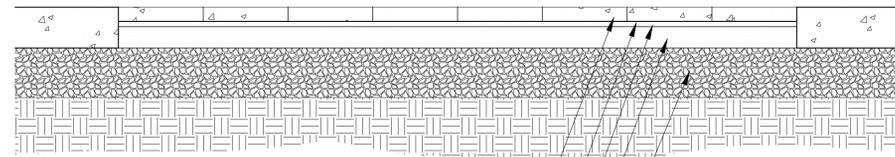
SITE PLAN

A0.1

1 SITE PLAN
 SCALE: 1" = 20'-0"

LEGEND

- LIMITS OF BLDG AT GROUND LEVEL
- PLAN VIEW LIMITS OF BLDG
- ▲ BLDG ENTRANCES (FINAL LOCATIONS TBD PER CONSTRUCTION PLANS)



WAUSAU EXPOSTONE PAVERS,
OR OWNER-APPROVED EQUAL

2% MODIFIED NEOPRENE TACK COAT

3/4" BITUMINOUS SETTING BED

2" BITUMINOUS BINDER

6" COMPACTED
ROAD-GRADE GRAVEL (#6)

2 DECORATIVE CONCRETE PAVER DETAIL
SCALE: 1" = 1'-0"



LITTER CONTAINER (SHALL BE FITTED WITH ASH URN AND BE POWDER-COATED BLACK): LC



TREE GRATE: TG-1



BICYCLE RACK: BR



NORTHWESTERN AVE LANDSCAPING FENCE



RAILING MOUNTED LIGHT FIXTURE L-3



LANDSCAPE BENCH: B-1



WAUSAU EXPOSTONE
DECORATIVE CONCRETE PAVER
OR OWNER-APPROVED EQUAL

1 MATERIALS, FURNITURE, AND FIXTURES PHOTOS
SCALE: NTS



EXTERIOR POLE-MOUNT LIGHT FIXTURE L-4



EXTERIOR WALL SCONCE LIGHT FIXTURE L-1



RECESSED CAN LIGHT FIXTURE L-2

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West Lafayette, IN

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05/14/12	APC MEETING-DRAFT PLAN
05/23/12	PROGRESS

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P 312 226 4499
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www.hparchitecture.com

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DN. BY:	JD
DATE:	07/11 PROJECT START
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DESIGN INTENT AND SPECIFICATIONS

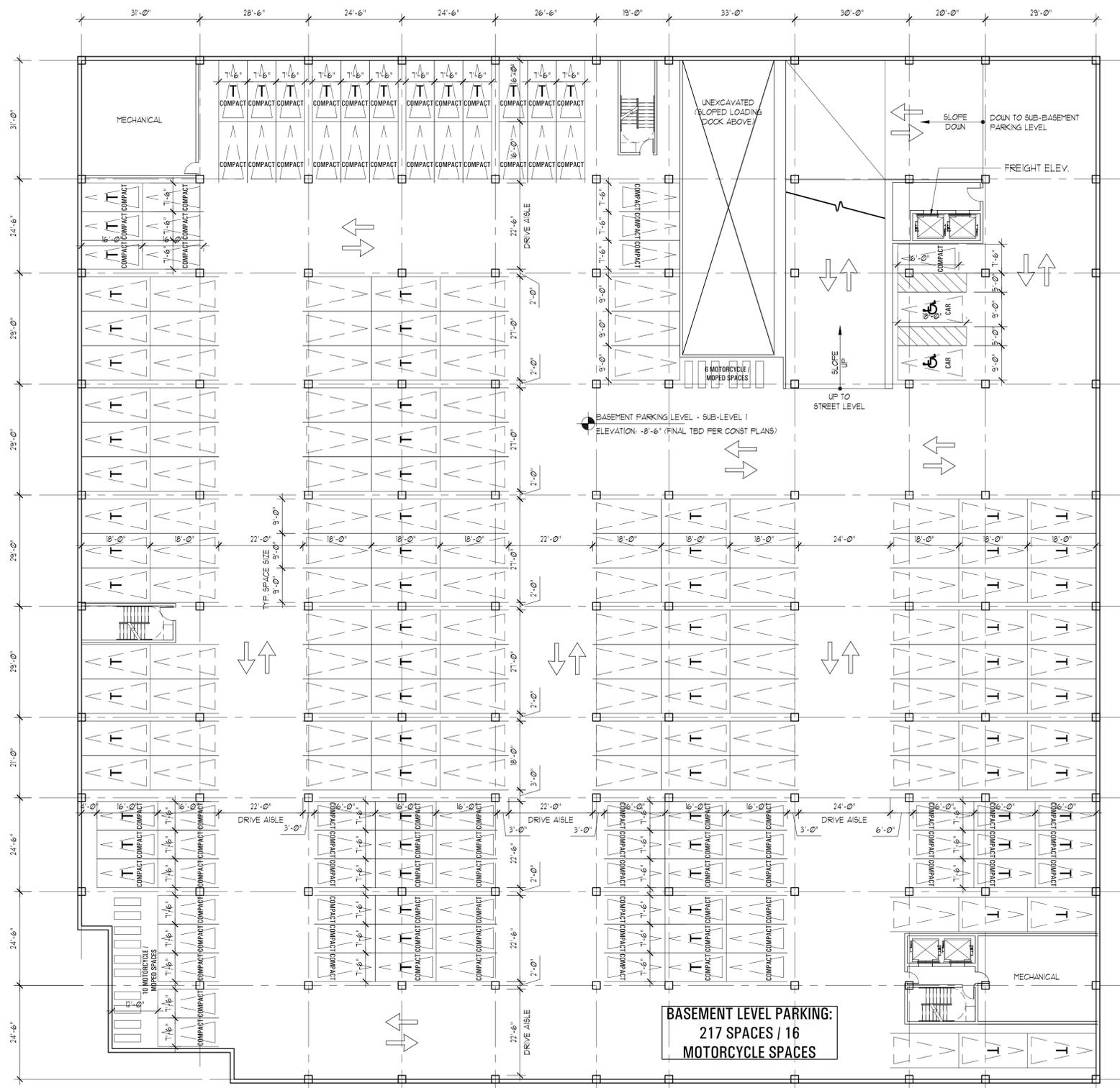
A0.2

NORTHWESTERN AVE

DODGE ST

ALLEN ST

EVERGREEN ST



NOTES:

- 1) ALL PARKING GARAGES SHALL HAVE MIN. OF 7'-4" CLEARANCE AT ENTRANCES AND AISLES.
- 2) STANDPIPE LOCATIONS IN GARAGE SHALL BE INCLUDED IN CONST PLANS.
- 3) GARAGE SHALL COMPLY WITH MIN. FOOT CANDLE LIGHTING PER BUILDING AND ELECTRICAL CODE. THIS INFORMATION WILL BE SHOWN AS PART OF CONST PLANS.

BASEMENT LEVEL PARKING:
217 SPACES / 16
MOTORCYCLE SPACES

1 BASEMENT FLOOR PLAN
 SCALE: 1/16" = 1'-0"

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05/14/12	APC MEETING-DRAFT PLAN
05/23/12	PROGRESS

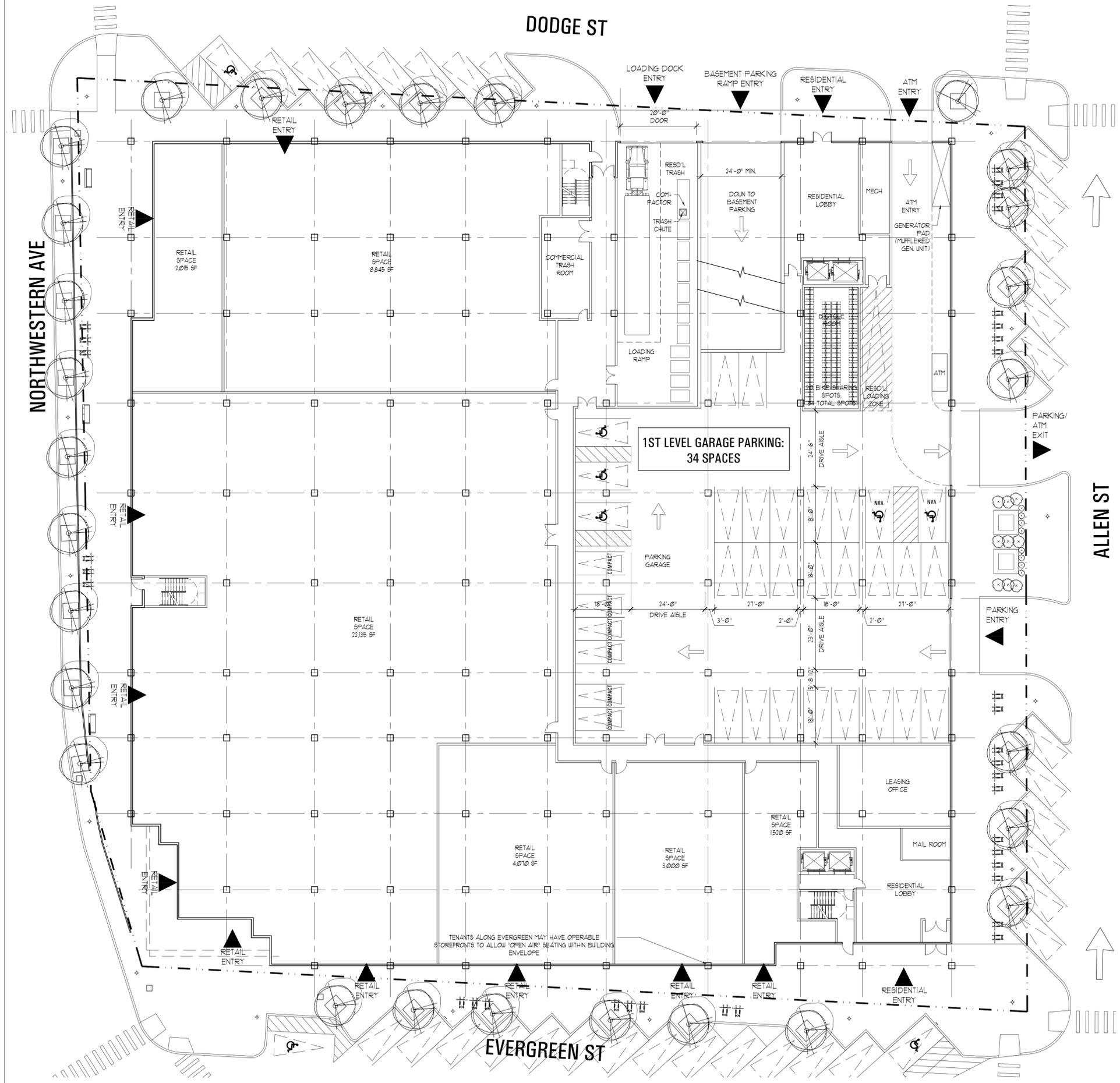


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DATE:	07/11 PROJECT START
SCALE:	AS NOTED
PROJ. #	0903

BASEMENT FLOOR PLAN





1 1ST FLOOR PLAN
SCALE: 1/16" = 1'-0"

LEVEL ONE AREA DETAIL	
GROSS AREA:	68,905 SF
PARKING AREA:	13,200 SF
RETAIL RENTABLE AREA:	41,825 SF
AMENITY AREA:	0 SF
COURTYARD AREA:	0 SF
PUBLIC/MECHANICAL/CIRCULATION:	13,880 SF

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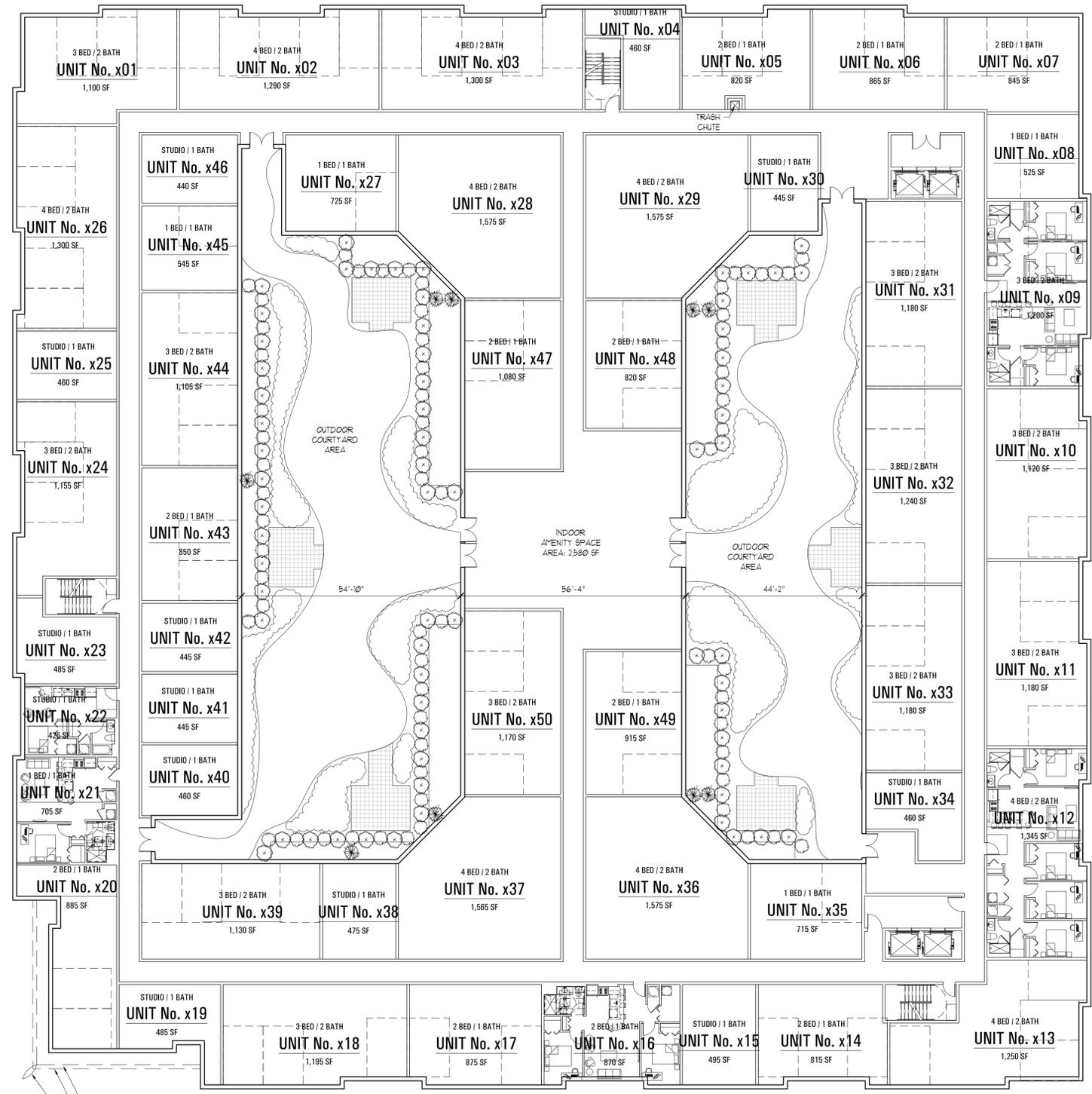
DATE	ISSUED FOR
04/26/12	APC MEETING-DRAFT PLAN
05/14/12	APC MEETING-DRAFT PLAN
05/23/12	PROGRESS

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Hartshorne Plunkard Architecture
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P 312 226 4488
F 312 226 4499
www.hparchitecture.com

CK. BY:	TP
DN. BY:	JD
DATE:	07/11 PROJECT START
SCALE:	AS NOTED
PROJ. #	0903

1ST FLOOR PLAN

A1.2



EXTENT OF FINS ABOVE
 EXTENT OF ENTRANCE CANOPY BELOW
 PROJECT IDENTIFICATION BLADE SIGN

1 2ND FLOOR PLAN
 SCALE: 1/16" = 1'-0"

**BUILDING PROGRAM SUMMARY
 RESIDENTIAL LEVELS**

LEVEL	GROSS AREA	UNITS	BEDS
2	55,900 SF	56	118
3	55,900 SF	58	124
4	55,900 SF	58	124
5	55,900 SF	58	124
	223,600 SF	230	490

LEVEL TWO AREA DETAIL

GROSS AREA:	55,900 SF
PARKING AREA:	0 SF
RES. RENTABLE AREA:	45,700 SF
AMENITY AREA:	2,580 SF
COURTYARD AREA:	15,400 SF
PUBLIC/MECHANICAL/CIRCULATION:	7,620 SF

FLOOR PLAN NOTES

UNIT AND BEDROOM COUNTS SUBJECT TO CHANGE WITH ADMINISTRATIVE OFFICER APPROVAL, BUT UNDER NO CIRCUMSTANCES MAY THE BEDROOM COUNT EXCEED 490.

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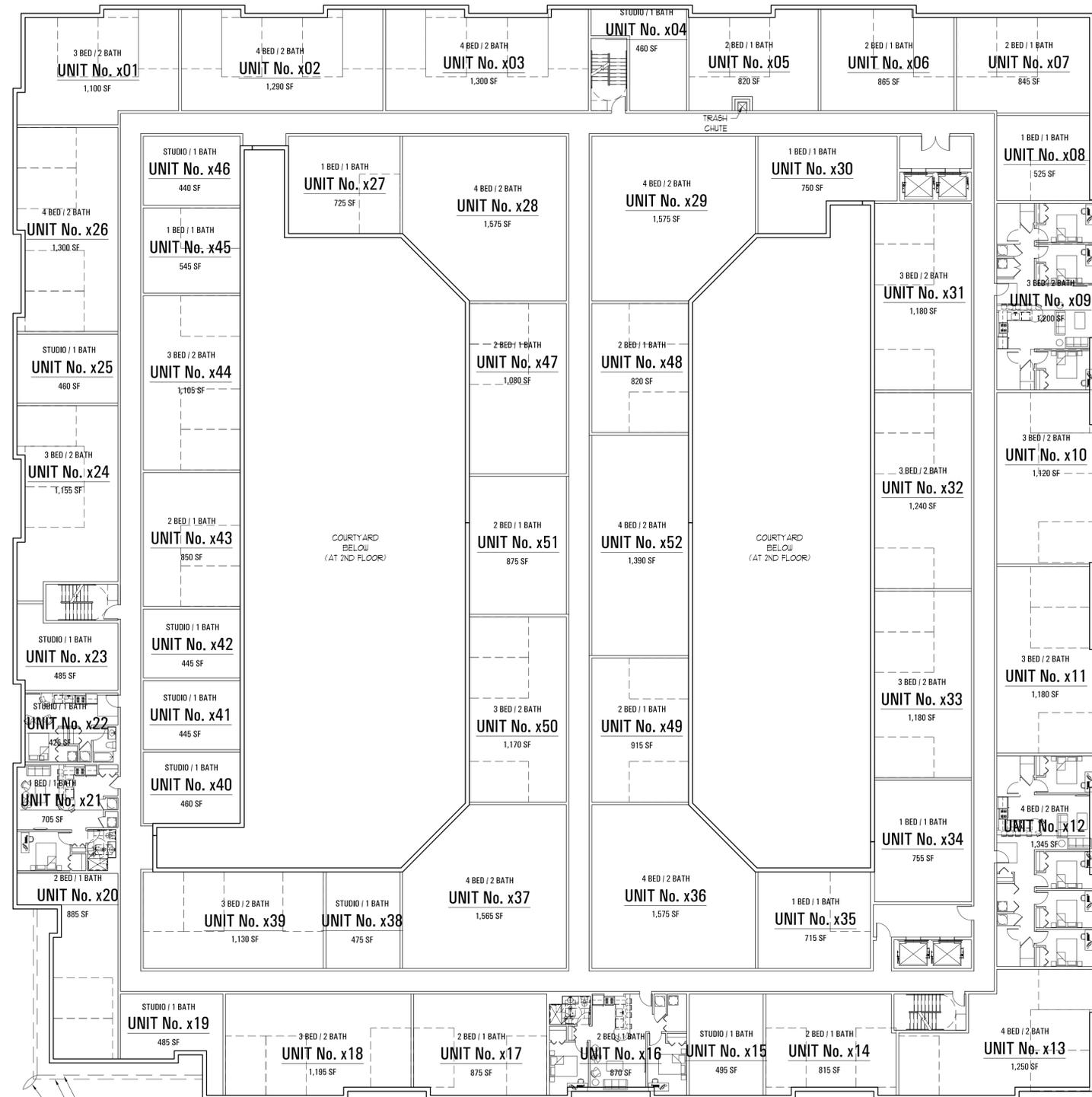
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 720 Northwestern Ave
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05/14/12	APC MEETING-DRAFT PLAN
05/23/12	PROGRESS

CK. BY:	TP
DN. BY:	JD
DATE:	07/11 PROJECT START
SCALE:	AS NOTED
PROJ. #	0903

2ND FLOOR PLAN



EXTENT OF FINIS ABOVE
 EXTENT OF ENTRANCE CANOPY BELOW
 PROJECT IDENTIFICATION BLADE SIGN

1 3RD-5TH FLOOR PLANS
 SCALE: 1/16" = 1'-0"

**BUILDING PROGRAM SUMMARY
 RESIDENTIAL LEVELS**

LEVEL	GROSS AREA	UNITS	BEDS
2	55,900 SF	56	118
3	55,900 SF	58	124
4	55,900 SF	58	124
5	55,900 SF	58	124
	223,600 SF	206	490

LEVELS THREE TO FIVE AREA DETAIL

GROSS AREA:	55,900 SF
PARKING AREA:	0 SF
RES. RENTABLE AREA:	48,570 SF
AMENITY AREA:	0 SF
COURTYARD AREA:	0 SF
PUBLIC/MECHANICAL/CIRCULATION:	7,330 SF

FLOOR PLAN NOTES

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05/14/12	APC MEETING-DRAFT PLAN
05/23/12	PROGRESS

Hartshorne Plunkard Architecture
 232 North Carpenter, Chicago IL 60607
 P 312 226 4488
 F 312 226 4499
 www.hparchitecture.com

CK. BY:	TP
DN. BY:	JO
DATE:	07/11 PROJECT START
SCALE:	AS NOTED
PROJ. #	0903

3RD-5TH FLOOR PLANS

A1.4

MATERIAL LEGEND:

- 01 BRICK - COLOR 1 (DARK)
- 02 BRICK - COLOR 2 (MEDIUM)
- 03 BRICK - COLOR 3 (LIGHT)
- 04 METAL PANEL - COLOR 1
- 05 METAL PANEL - COLOR 2
- 06 ALUM. WINDOW W/ VISION GLASS - COLOR 1
- 07 ALUM. STOREFRONT W/ CLEAR GLASS
- 08 METAL CLADDING ON CANOPY - COLOR 1
- 09 STONE WINDOW SILL
- 10 STONE WINDOW HEAD
- 11 STONE BASE
- 12 STONE CAP / CORNICE
- 13 METAL COLUMN COVER
- 14 ALUM. PROJECTION AWNING
- 15 RECESSED BRICK BAND
- 16 DECORATIVE LIGHT FIXTURE
- 17 DECORATIVE LIGHT POLE L-4

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05/23/12	PROGRESS
05/30/12	PROGRESS

DATE	ISSUED FOR
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05/23/12	PROGRESS
05/30/12	PROGRESS

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EXTERIOR ELEVATIONS WEST & SOUTH

A2.0



2 EXTERIOR ELEVATIONS - SOUTH
 SCALE: 3/32" = 1'-0"



1 EXTERIOR ELEVATIONS - WEST
 SCALE: 3/32" = 1'-0"



2 EXTERIOR ELEVATION DETAIL - SOUTH
SCALE: 1/4" = 1'-0"

MATERIAL LEGEND:

- 01 BRICK - COLOR 1 (DARK)
- 02 BRICK - COLOR 2 (MEDIUM)
- 03 BRICK - COLOR 3 (LIGHT)
- 04 METAL PANEL - COLOR 1
- 05 METAL PANEL - COLOR 2
- 06 ALUM. WINDOW W/ VISION GLASS - COLOR 1
- 07 ALUM. STOREFRONT W/ CLEAR GLASS
- 08 METAL CLADDING ON CANOPY - COLOR 1
- 09 STONE WINDOW SILL
- 10 STONE WINDOW HEAD
- 11 STONE BASE
- 12 STONE CAP / CORNICE
- 13 METAL COLUMN COVER
- 14 ALUM. PROJECTION AWNING
- 15 RECESSED BRICK BAND
- 16 DECORATIVE LIGHT FIXTURE
- 17 DECORATIVE LIGHT POLE L-4

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05/30/12	PROGRESS



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**SOUTH EXTERIOR
ELEVATION DETAIL**



MATERIAL LEGEND:

- 01 BRICK - COLOR 1 (DARK)
- 02 BRICK - COLOR 2 (MEDIUM)
- 03 BRICK - COLOR 3 (LIGHT)
- 04 METAL PANEL - COLOR 1
- 05 METAL PANEL - COLOR 2
- 06 ALUM. WINDOW W/ VISION GLASS - COLOR 1
- 07 ALUM. STOREFRONT W/ CLEAR GLASS
- 08 METAL CLADDING ON CANOPY - COLOR 1
- 09 STONE WINDOW SILL
- 10 STONE WINDOW HEAD
- 11 STONE BASE
- 12 STONE CAP / CORNICE
- 13 METAL COLUMN COVER
- 14 ALUM. PROJECTION AWNING
- 15 RECESSED BRICK BAND
- 16 DECORATIVE LIGHT FIXTURE
- 17 DECORATIVE LIGHT POLE L-4

Contractor shall be responsible for reviewing all Plans and Specifications, verifying all existing conditions prior to proceeding with Construction, complying with all applicable building codes, and notifying Architect immediately of any discrepancies or conflicts. Contractor shall construct the work in conformance with all applicable building codes.

Contractor is responsible for design and installation of properly sized and loaded systems. Submit shop drawings to architect for approval on conformity to Architectural design intent.

A written Architectural Specification was issued for this project and along with these printed documents constitute the Contract Documents for this project. Work scope pertinent to all disciplines occurs throughout the Contract Documents. By submitting a bid for this work the Contractor and all subcontractors attest that they have reviewed the entire contract document set and site conditions and have included all applicable work. Additional Architectural Specification copies are available anytime upon request.

Harshorne Plunkard, LTD. shall retain all copyrights, statutory and common law right with regard to these plans and building design.

720 Northwestern
Student Housing
 CBW to PDMX

720 Northwestern Ave
 West Lafayette, IN

DATE	ISSUED FOR
04/26/12	APC MEETING-DRAFT PLAN
05/14/12	APC MEETING-DRAFT PLAN
05/23/12	PROGRESS
05/30/12	PROGRESS



2 EXTERIOR ELEVATIONS - NORTH
 SCALE: 1/16" = 1'-0"

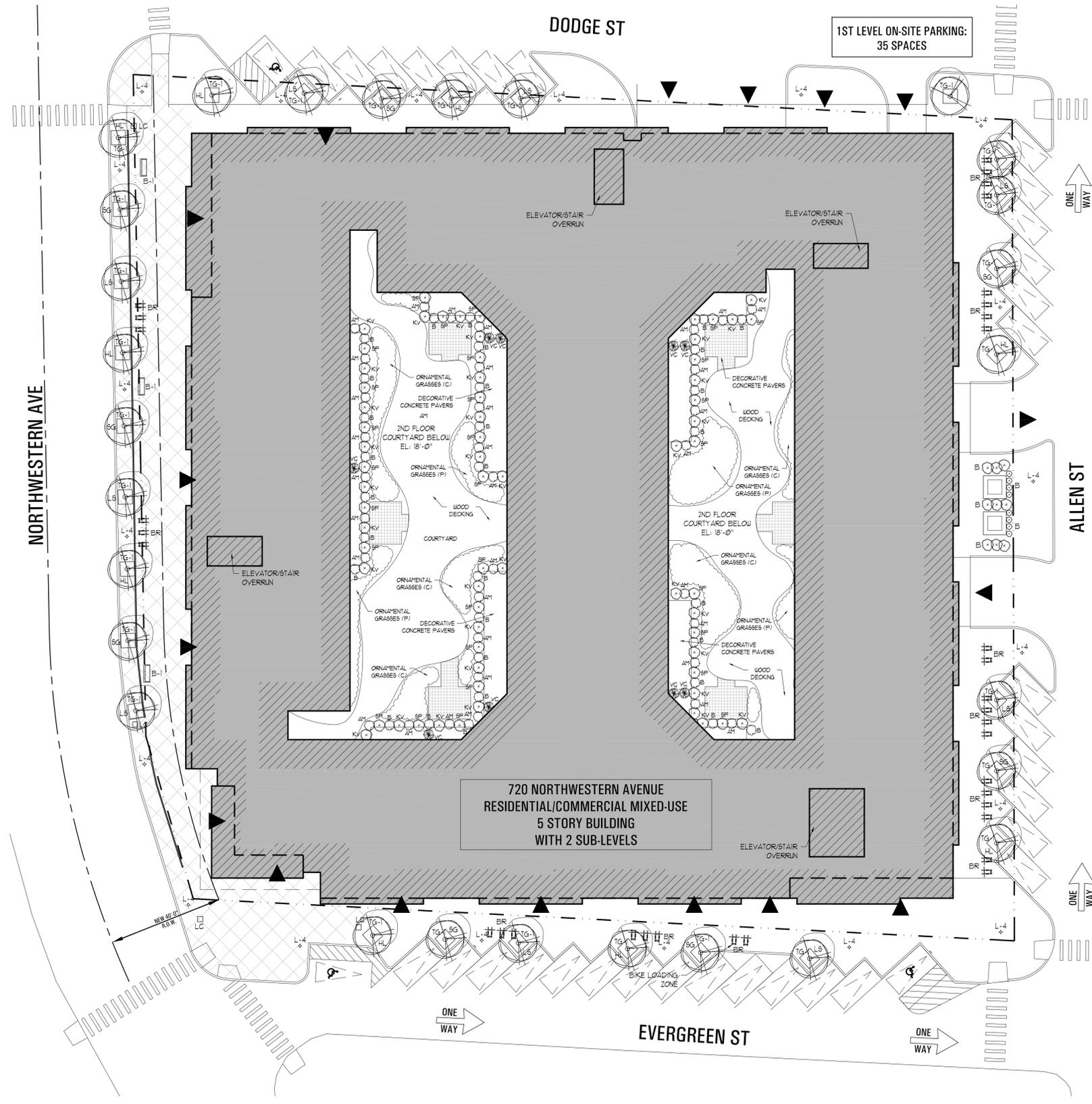


1 EXTERIOR ELEVATIONS - EAST
 SCALE: 1/16" = 1'-0"

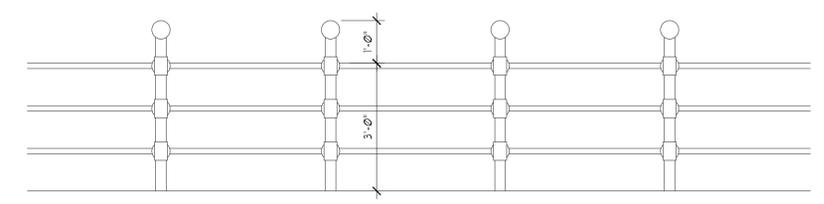
hpa
 Harshorne Plunkard Architecture
 232 North Carpenter, Chicago IL 60607
 P 312 226 4499
 F 312 226 4499
 www.hparchitecture.com

CK. BY:	TP
DN. BY:	JJ
DATE:	07/11 PROJECT START
SCALE:	AS NOTED
PROJ. #	0903

EXTERIOR ELEVATIONS EAST & NORTH



1 LANDSCAPE PLAN
SCALE: 1" = 20'



2 STREET-SIDE LANDSCAPE FENCE
SCALE: 1/2" = 1'-0"

GREEN SPACE CALCULATION

PROPERTY AREA	GROUND LEVEL GREEN AREA	2ND LEVEL GREEN AREA	TOTAL GREEN AREA	GREEN AREA PERCENTAGE
86,565 SF	0 SF	15,400 SF	15,400 SF	17.8%

SITE LIGHTING SCHEDULE

SYM.	NAME	TYPE	MODEL NO.
L-1	WALL	ARCHITECTURAL LIGHTING WORKS LPRV - SIMILAR	
L-2	CEILING	COOPER LIGHTING, RECESSED CAN PD8 HW242 8HL	
L-3	RAILING	10 LUXRAIL, LEAD HANDRAIL 0.06	
L-4	POLE	MANUFACTURER/MODEL TBD	

STREET FURNISHING SCHEDULE

NAME	TYPE	MODEL NO.
B-1	BENCH	TIMBERFORM RENAISSANCE BENCH 2806-6
TG-1	TREE GRATE	NEENAH ADIRONDACK 8742-A1
LC	LITTER CTR.	2814-DT-P COLUMBIA CASCADE RENAISSANCE
BR	BIKE RACK	COLUMBIA CASCADE BOLLARD CYCLOOPS 2172

LANDSCAPE LEGEND

SYMBOL	PLANT NAME	PLANT NAME	SIZE/COMMENTS	QUANTITY
AM	ARONIA MELONCARPA	MORTON BLACK CHOKEBERRY	3 GAL	
HL	HONEYLOCUST (THORNLESS)	GLEDITSIA TRIANCATHOS	2 1/2" CAL.	
B	BUXUS	GREEN VELVET BOXWOOD		
C	CALAMOGROSTIS	FEATHER REED GRASS	1 GAL	
KV	VIBURNUM CARLESII	KOREAN SPICE VIBURNUM	3 GAL	
LS	LINDEN, SILVER "STERLING SILVER"	TILIA TOMENTOSA "STER. SILVER"	2 1/2" CAL.	
SP	SPIRAEA BETULIFOLIA 'TOR'	SPIREA		
P	PANICUM	SWITCHGRASS	1 GAL	
PC	ECHINACEA PURPUREA 'MAGNUS'	MAGNUS PURPLE CONEFLOWER	1 GAL	
SG	SWEETGUM	LIQUIDAMBER STYRACIFLUA	3 GAL	
SP	SPIREA BETULIFOLIA	TOR	3 GAL	
VC	VIBURNUM CARLESII	KOREANSPICE VIBURNUM	2 1/2" CAL.	
WY	TAXUS X MEDRA 'WARDII'	WARD'S SPREADING YEW	18"-24"	
HBM		HARDWOOD BARK MULCH		

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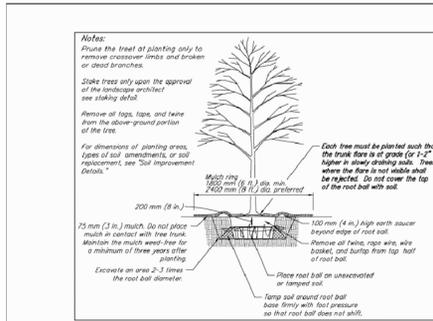
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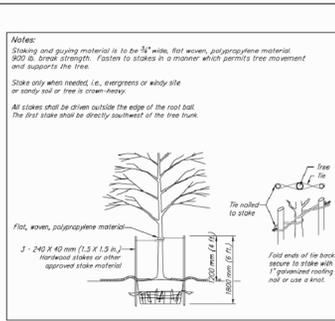
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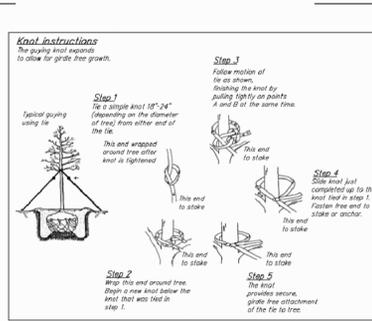
LANDSCAPE AND STREETScape PLAN
LSO.1



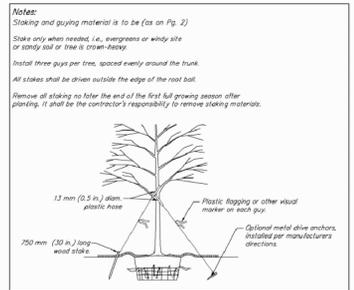
TREE PLANTING DETAIL FOR B&B IN ALL SOIL TYPES



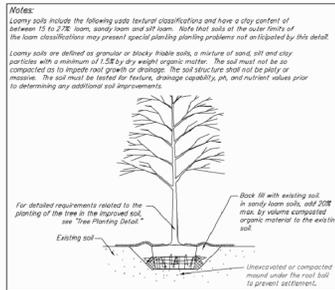
TREE STAKING DETAIL - TREES 3" CALIPER OR LESS



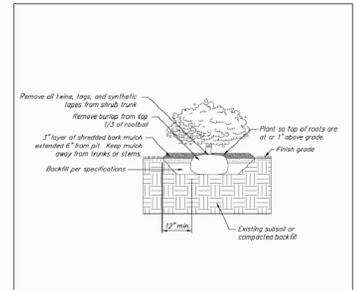
TREE STAKING DETAIL - KNOT TYING INSTRUCTIONS



TREE STAKING DETAIL - TREES 3" CALIPER OR LARGER



SOIL IMPROVEMENT DETAIL



SHRUB DETAIL

CITY OF WEST LAFAYETTE
City Hall, 609 West Navajo
West Lafayette, IN 47906

RECOMMENDED FOR APPROVAL
CITY ENGINEER
Date: Jan 2010 | Sheet: 17 of 18

LANDSCAPING Standard Details

Landscaping Specifications

Part 1 - General

- 1. This work shall consist of furnishing, transporting and installing of plants or other materials required for the establishment of the landscape plantings, including hauling and spreading of topsoil, and finished grading as indicated on the proposed drawings and specified herein.
- 2. Protection of existing features. During construction, protect all existing trees, shrubs, and other special vegetation, site utilities and improvements, structures, and utilities specified herein and/or as indicated elsewhere. Removal or destruction of existing structures is prohibited unless specifically authorized by the Ordinance Administrator.

- 1.02 **Applicable Standards:**
 - A. American Institute Standards for the Tree Care Operations, ANSI A300, American National Standards Institute, 11 West 43rd Street, New York, NY 10018.
 - B. American Standard for Nursery Stock, ANSI Z60.1, American Nursery and Landscape Association, 1200 Eye Street, NW, Suite 500, Washington, D.C. 20004.
 - C. *Urban Planting*, the staff of the L.A. Bailey Hortorium, 1976, Macmillan Publishing Co., New York.
 - D. *Tree Manual and Guide to the West Lafayette Landscape Ordinance*, revised 12/2007.
- 2. All standards shall include the latest editions and amendments as of the date of advertisement for bids.

- 1.03 **Plant Requirements:**
 - A. On the landscape plan, provide a schedule showing quantity, size, genus, species, variety, and condition (B&B or container) of trees and shrubs authorized, planting with applicable requirements of ANSI Z60.1 American Standard for Nursery Stock. Also show percentage percentage. Ordinance percentage includes all plant areas prior to the property lines. Not include in percentage percentage are areas of grass or other lawn. The percentage shall be calculated as follows: 100% = minimum surface percentage in grassed areas. Percentage shall be adjusted with trees, shrubs, groundcover or grass, consistent with good landscape design.

- 1.04 **Quality Assurance:**
 - A. **Source quality control:**
 - 1. General: A certificate of nursery inspection from each state Department of Agriculture from which plants originate and/or a direct correspondence from the Indiana Department of Natural Resources nursery sector certificate must be available upon request. The nursery must verify whether or not they are under an invasive pest quarantine or other limiting factor from the DNR or the USDA. All plant material shipped from nursery vendors subject to quarantines must be accompanied by a Certificate of Quarantine. In quarantine, all specimens are subject to quarantine, call the DNR Supervisor of Plant Regulatory Services.
 - 2. Inspections: The Ordinance Administrator may inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements for genus, species, variety, size, and quality. Ordinance Administrator retains the right to further inspect trees and shrubs for size and condition of both soil and root systems, insects, damage and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Remove "infected" trees or shrubs immediately from project site.

- 1.05 **Delivery, Storage, and Handling:**
 - A. Soil: Harvest, deliver, store, and handle soil according to the requirements of the American Soil Production Association's (ASPTA) Specifications for topsoil and subsoils and handling/transporting.
 - B. Trees and Shrubs: Do not prune before delivery. Protect bark, branches, and root systems from sun-scald, drying, wounding and frost damage. Do not sand or bark-fall trees or shrubs in such a manner as to destroy root system. Pruning protection covering during delivery. Do not use trees and shrubs during delivery.
 - C. Handle Shrub and Container Stock By the Root Ball: Deliver trees, shrubs, groundcover, and plants after inspections for planting have been completed and installed immediately. If planting is delayed more than 2 hours after delivery, seal planting materials in plastic bags, and store in a cool, dark, and well-ventilated area. Seal balled stock in ground and cover ball with soil, peat moss, sawdust, or other acceptable material.

- 1.06 **Planting Conditions:**
 - A. Utilities: Determine location of above ground and underground utilities and perform work in a manner which will avoid damage. Call Indiana Underground at 1-800-362-5544 upon initial Stake out in 48 hours, to request the file to be excavated without notifying the underground location service two working days before commencing work.
 - B. When conditions detrimental to plant growth are encountered, such as rubble fill, adverse drainage conditions, or obstructions, notify greenhouse administrator before planting.

- 1.07 **Coordination and Scheduling:**
 - A. **Planting Day:** Standard landscape work with complete landscape work as rapidly as portions of site become available, working within seasonal limitations for each kind of landscape work required. Plant or install materials only when ground is not too hot or too dry.
 - B. Plant trees and shrubs after final grades are established.

- 2.01 **Plants:**
 - A. Plants shall be true to species and variety specified and nursery-grown in accordance with good horticultural practices under climatic conditions similar to those in the locality of the project for at least two years. They shall have been freely dug (during the most recent favorable harvest season). At least 75% of plants shall be certified as such as defined in *Urban Planting*.
 - 2. All plants shall be grown and handled in accordance with the American Standard for Nursery Stock.

- B. Unless specifically noted, all plants shall be of specimen quality, healthy, symmetrical, and superior in form, compactness and symmetry. They shall be sound healthy, vigorous, well branched, and densely foliated when in leaf; free of disease and insects, eggs or larvae; and shall have healthy, well-developed root systems. They shall be free from physical damage or other conditions that would detract from their appearance.
- 1. Trees with multiple leaders, unless specified, will be rejected. Trees with a damaged or crooked trunk, bare branches, sun-scald, dieback, insect damage, insect damage, or cuts of limbs over 1/4" (20 mm) in diameter that are not completely closed will be rejected.
- 2. Plants shall conform to the measurements specified. *Urban Planting* Larger Than Those Specified May be Used if Approved By the Ordinance Administrator. If Larger Plants are Approved, the Root Ball Shall be Increased in Proportion to the Size of the Plant.
- 3. Caliper measurements shall be taken on the trunk 6" (150 mm) above the natural ground line for trees up to and including 4" (100 mm) in caliper, and 2" (50 mm) above the natural ground line for trees over 4" (100 mm) in caliper. Height and spread dimensions specified refer to the main body of the plant and not to bare branches (B&B stock). If a crop of limbs is present, it must not be less than the minimum size specified. Height and spread measurements shall be on a standard relationship between height and spread, according to the American Standard for Nursery Stock, shall not be rejected.

- D. Substitutions of plant material will not be permitted unless authorized in writing by the Ordinance Administrator. If proof is submitted in writing that a plant is not obtainable, substitution will be given to the nearest available size or similar variety.
- E. The contractor shall ensure that all plant materials shown on the drawings are included in his or her bid.
- F. Balled and Burlapped (B&B) plant materials shall be properly bagged with firm, natural burlap of soil retaining as many fibrous roots as possible, in size and shape as specified in the American Standard for Nursery Stock. Bales shall be firmly wrapped with waterproof, impervious burlap and secured with nails and heavy, nonferrous, degradable twine.
- 1. The root flare shall be apparent on surface of soil.
- 2. Trees with loose, broken, processed or manufactured root balls will not be acceptable, except with special written approval before planting. The plant was planted too deep, or the soil was not tamped inside the ball with most of the roots near the bottom of the ball. If the upper portion roots are more than 4 inches below the top of the ball, the plant will not be accepted.
- 3. Plants must have a balanced root system that is well distributed and not one-sided, cutting or grading. Bales on plants (B&B stock) shall be full, moist, and green inside when ball open.
- 4. Trees shall have a defined central leader with a minimum of eight branches radiating to all sides of the tree. The tree is acceptable if it can be pruned to a center leader.

- G. Container Plants:
 - 1. Plants grown in containers shall be of appropriate size for the container as specified in the most recent Edition of the American Standard for Nursery Stock and the tree of existing root system in the container.
 - 2. Container plants shall have been grown in the container long enough to have established roots throughout the growing length of the container.
 - 3. The root flare shall be apparent on surface of container green stock.

- H. Method of Tree Spacing Requirements:
 - 1. Trees may be mixed and planted with an approved mechanical tree space. The tree space shall meet or exceed the requirements for genus, species, variety, size, and quality. Ordinance Administrator retains the right to further inspect trees and shrubs for size and condition of both soil and root systems, insects, damage and latent defects, and to reject unsatisfactory or defective material at any time during progress of work. Remove "infected" trees or shrubs immediately from project site.

- 2.02 **Shade and Trellising Trees:**
 - A. Shade trees: 18-inch trees with straight trunk, well-balanced crown, and strict leader, of height and caliper indicated, conforming to ANSI Z60.1 for Taps of Trees required.
 - 1. Pruning shall be performed in accordance with the American Standard for Nursery Stock.
 - 2. Container-grown deciduous flowering trees will be acceptable in lieu of balled and burlapped deciduous trees subject to meeting ANSI Z60.1 limitations for container stock.

- 2.03 **Decking and Obstacles:**
 - A. Form and shape: obnoxious shrubs with not less than the minimum number of canes required and measured according to ANSI Z60.1 for Taps, shape, and height of shrub.
 - 1. Pruning shall be performed in accordance with the American Standard for Nursery Stock.
 - 2. Container-grown deciduous flowering trees will be acceptable in lieu of balled and burlapped deciduous trees subject to meeting ANSI Z60.1 limitations for container stock.

- 2.04 **Groundcovers and Herbaceous Plants:**
 - A. Provide groundcovers and herbaceous plants to be established and well rooted in removable containers or pots. Minimum number and height of runners required by ANSI Z60.1 for the pot size indicated.

- 2.05 **Grass Materials:**
 - A. Soil: Certified topsoil complying with ASPTA Specifications for medium- or fine-textured, silt-free, strong, moisture content, and nutrient levels, and free of weeds and undesirable native grasses. Plants and grasses to be used shall be certified as such as defined in *Urban Planting* and shall be certified as such as defined in *Urban Planting*.
 - B. Seed: Seed shall be certified as such as defined in *Urban Planting*.
 - C. Mixture: Mixture shall be certified as such as defined in *Urban Planting*.
 - D. Mixture: Mixture shall be certified as such as defined in *Urban Planting*.

- 2.06 **Fill Material:**
 - A. Sanitary/Free of materials: ASTM 2487 Soil Classification Groups DW, GP, GM, SP, SM, SW, free of block or larger lumps than 2 inches (50 mm) any dimension, debris, water, frozen materials, vegetation and other deleterious matter.
 - B. Tamping: Provide topsoil that is fertile, friable, natural loam, surface soil, reasonably free of basal, clay, lime, brick, and other filler, and free of roots, stumps, stones larger than 1 inch in any direction, and deleterious materials from ground surface prior to placing the material in a minimum of two percent (2%) organic matter.
 - C. The use of an in-situ method of soil improvement is encouraged provided it meets the standard and can be modified to meet the requirements set out or specified for growing medium. Amended soil may be considered for use provided that additional organic matter is established in a continuous, and a soil test performed on the amended product prior to placement indicates the soil meets standard growing requirements.

- 2.07 **Mulch:**
 - A. Mulch shall be organic mulch, free from deleterious material and suitable as a top dressing of trees and shrubs, consisting of shredded hardwood bark.
- 2.08 **Stakes and Saws:**
 - A. Upright and guy stakes: rough-sawn, sound, new hardwood, released or pressure preservative-treated softwood, free of knots, holes, cross grain, and other defects, 2 by 2 inches (50 by 50 mm).
 - B. Wire-welding strap: polypropylene, woven, reinforced straps, 3/4" wide, 500 lb breaking strength.

Part 3 - Execution

- 3.01 **Preparation:**
 - A. Protect existing trees that are to be saved by erecting construction fence around these trees before any soil work begins. Fence lining must be at the edge of the tree. The fenced area is to be kept clear of building materials, waste and access soil. No digging, trenching, compaction or other soil disturbance is allowed in the fenced area.

- 3.02 **Groundcover And Balled/B&B Plant Preparation:**
 - A. The soil to be beds to a minimum depth of 8 inches (200 mm).
 - 1. Pits and trenches: excavate with vertical sides and with bottom of excavation slightly raised at center to assist drainage. Lower back subject to bottom of excavation. For use only for parking lot storm basins, remove all compacted soil and aggregate base for other materials or construction areas (retention to surface plant growth). Replace with topsoil as defined in these Specifications to a depth of 3".
 - 2. Container-grown shrubs: acceptable to combine with and depth.
 - 3. Container-grown shrubs: acceptable to combine with and depth.
 - 4. Dispose of subsoil removed from landscape excavations. Do not mix with planting soil or use in backfill.

- 3.03 **Planting Trees And Shrubs:**
 - A. Site balled and burlapped stock plants and in center of pit or trench with top of ball raised above adjacent final grade as indicated.
 - 1. Place stake in layer of compacted planting soil.
 - 2. Remove burlap from sides and partially from sides, but do not remove from under side. Remove the top third of wire baskets. Do not use planting stock if ball is cracked or broken before or during planting operation. Remove all leaves, tops and wire from the trunk and root-ball.
 - 3. Each tree must be planted such that the root flare is visible at the top of the root ball. Trees where the root flare is not visible shall be rejected. Do not cover the top of the root flare with soil. In cases where the root flare is not visible consult with Ordinance Administrator prior to planting. The Ordinance Administrator may request contractor to show the soil from the ball excavation to facilitate drainage. Use of "Sugar Top" or "Stump Top" fill with water drainage fill.
 - 4. Remove and dispose of root material and obstructions encountered.

- 3.04 **Planting Groundcover And Herbaceous Plant Material:**
 - A. Space groundcover and plants as indicated.
 - 1. Carefully remove containers to be not to damage root balls.
 - 2. Place balled ground cover in pits, trenches, to settle backfill and eliminate voids and air pockets. When pit is approximately 1/2 backfilled, water thoroughly before placing remainder of backfill. Repeat until no more is required. Water again after placing and tamping final layer of backfill. Do not cover top of root ball with backfill.

- 3.05 **Final Grading And Placement of Topsoil:**
 - A. Lower subgrade to a minimum depth of 4 inches. Remove stones measuring over 1-2 inches in any dimension. Remove sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
 - 1. Spread topsoil to minimum depth required to meet trees, grasses, and elevations shown, after slight tamping and natural settlement. Minimum depth of topsoil shall be 4 inches unless otherwise indicated. In the area of shrub planting areas there shall be 18" (45 cm) topsoil. In areas, depth of topsoil shall be 12 inches (30 cm) unless otherwise indicated. The plants' mature canopy size shall be approximately 1/2 of final amount of topsoil required. Work into top of loosened subgrade to a minimum 1/2 inch layer and then place remainder of topsoil.

- 3.06 **Final Grading And Placement of Topsoil:**
 - A. Remove surface soil and subgrade to a minimum depth of 4 inches. Remove stones measuring over 1-2 inches in any dimension. Remove sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
 - 1. Spread topsoil to minimum depth required to meet trees, grasses, and elevations shown, after slight tamping and natural settlement. Minimum depth of topsoil shall be 4 inches unless otherwise indicated. In the area of shrub planting areas there shall be 18" (45 cm) topsoil. In areas, depth of topsoil shall be 12 inches (30 cm) unless otherwise indicated. The plants' mature canopy size shall be approximately 1/2 of final amount of topsoil required. Work into top of loosened subgrade to a minimum 1/2 inch layer and then place remainder of topsoil.

- 3.07 **Final Grading And Placement of Topsoil:**
 - A. Remove surface soil and subgrade to a minimum depth of 4 inches. Remove stones measuring over 1-2 inches in any dimension. Remove sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
 - 1. Spread topsoil to minimum depth required to meet trees, grasses, and elevations shown, after slight tamping and natural settlement. Minimum depth of topsoil shall be 4 inches unless otherwise indicated. In the area of shrub planting areas there shall be 18" (45 cm) topsoil. In areas, depth of topsoil shall be 12 inches (30 cm) unless otherwise indicated. The plants' mature canopy size shall be approximately 1/2 of final amount of topsoil required. Work into top of loosened subgrade to a minimum 1/2 inch layer and then place remainder of topsoil.

- 3.08 **Final Grading And Placement of Topsoil:**
 - A. Remove surface soil and subgrade to a minimum depth of 4 inches. Remove stones measuring over 1-2 inches in any dimension. Remove sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
 - 1. Spread topsoil to minimum depth required to meet trees, grasses, and elevations shown, after slight tamping and natural settlement. Minimum depth of topsoil shall be 4 inches unless otherwise indicated. In the area of shrub planting areas there shall be 18" (45 cm) topsoil. In areas, depth of topsoil shall be 12 inches (30 cm) unless otherwise indicated. The plants' mature canopy size shall be approximately 1/2 of final amount of topsoil required. Work into top of loosened subgrade to a minimum 1/2 inch layer and then place remainder of topsoil.

- 3.09 **Final Grading And Placement of Topsoil:**
 - A. Remove surface soil and subgrade to a minimum depth of 4 inches. Remove stones measuring over 1-2 inches in any dimension. Remove sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
 - 1. Spread topsoil to minimum depth required to meet trees, grasses, and elevations shown, after slight tamping and natural settlement. Minimum depth of topsoil shall be 4 inches unless otherwise indicated. In the area of shrub planting areas there shall be 18" (45 cm) topsoil. In areas, depth of topsoil shall be 12 inches (30 cm) unless otherwise indicated. The plants' mature canopy size shall be approximately 1/2 of final amount of topsoil required. Work into top of loosened subgrade to a minimum 1/2 inch layer and then place remainder of topsoil.

- 3.10 **Final Grading And Placement of Topsoil:**
 - A. Remove surface soil and subgrade to a minimum depth of 4 inches. Remove stones measuring over 1-2 inches in any dimension. Remove sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
 - 1. Spread topsoil to minimum depth required to meet trees, grasses, and elevations shown, after slight tamping and natural settlement. Minimum depth of topsoil shall be 4 inches unless otherwise indicated. In the area of shrub planting areas there shall be 18" (45 cm) topsoil. In areas, depth of topsoil shall be 12 inches (30 cm) unless otherwise indicated. The plants' mature canopy size shall be approximately 1/2 of final amount of topsoil required. Work into top of loosened subgrade to a minimum 1/2 inch layer and then place remainder of topsoil.

- 3.11 **Final Grading And Placement of Topsoil:**
 - A. Remove surface soil and subgrade to a minimum depth of 4 inches. Remove stones measuring over 1-2 inches in any dimension. Remove sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
 - 1. Spread topsoil to minimum depth required to meet trees, grasses, and elevations shown, after slight tamping and natural settlement. Minimum depth of topsoil shall be 4 inches unless otherwise indicated. In the area of shrub planting areas there shall be 18" (45 cm) topsoil. In areas, depth of topsoil shall be 12 inches (30 cm) unless otherwise indicated. The plants' mature canopy size shall be approximately 1/2 of final amount of topsoil required. Work into top of loosened subgrade to a minimum 1/2 inch layer and then place remainder of topsoil.

- 3.12 **Final Grading And Placement of Topsoil:**
 - A. Remove surface soil and subgrade to a minimum depth of 4 inches. Remove stones measuring over 1-2 inches in any dimension. Remove sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
 - 1. Spread topsoil to minimum depth required to meet trees, grasses, and elevations shown, after slight tamping and natural settlement. Minimum depth of topsoil shall be 4 inches unless otherwise indicated. In the area of shrub planting areas there shall be 18" (45 cm) topsoil. In areas, depth of topsoil shall be 12 inches (30 cm) unless otherwise indicated. The plants' mature canopy size shall be approximately 1/2 of final amount of topsoil required. Work into top of loosened subgrade to a minimum 1/2 inch layer and then place remainder of topsoil.

- 3.13 **Final Grading And Placement of Topsoil:**
 - A. Remove surface soil and subgrade to a minimum depth of 4 inches. Remove stones measuring over 1-2 inches in any dimension. Remove sticks, roots, rubbish, and other extraneous matter. Limit preparation to areas which will be planted promptly after preparation.
 - 1. Spread topsoil to minimum depth required to meet trees, grasses, and elevations shown, after slight tamping and natural settlement. Minimum depth of topsoil shall be 4 inches unless otherwise indicated. In the area of shrub planting areas there shall be 18" (45 cm) topsoil. In areas, depth of topsoil shall be 12 inches (30 cm) unless otherwise indicated. The plants' mature canopy size shall be approximately 1/2 of final amount of topsoil required. Work into top of loosened subgrade to a minimum 1/2 inch layer and then place remainder of topsoil.

Part 4 - Warranty And Maintenance

- 4.01 **Warranty:**
 - A. Remove and replace dead planting materials immediately unless required to plant in the succeeding planting season. Replace planting materials that are more than 25 percent (25%) dead or in an unacceptable condition at end of warranty period.

- 4.02 **Tree Care Maintenance:**
 - A. Property owners have the following responsibilities for shrubs or trees planted in or near the public right-of-way:
 - 1. Any property owner shall permit limbs or branches obstructing movement or vision of vehicles or pedestrians to be trimmed, clipped or removed at the city. Trimming work necessitated by storms or other emergencies, a permit shall be obtained before any person may remove or cut any trees upon the public right-of-way. The permit shall be issued or denied without charge by the Ordinance Administrator within eight days of the application.
 - 2. Should the condition of any plant planted in or near the public right-of-way be such that it is a safety hazard, the property owner shall be notified by the Ordinance Administrator. The property owner shall be notified by the Ordinance Administrator. The property owner shall be notified by the Ordinance Administrator. The property owner shall be notified by the Ordinance Administrator.
 - 3. All street parking areas require a tree-trimming area between the right-of-way and the parking area plant with shrubs. The shrubs shall be allowed to grow so that they form a continuous light screen of mature growth of 10-40 ft height. When the trees are lost, shrubs or groundcover shall be planted to replace them. The shrubs shall be allowed to grow so that they form a continuous light screen of mature growth of 10-40 ft height. When the trees are lost, shrubs or groundcover shall be planted to replace them.
 - 4. For this purpose, the screen height may be reduced to between 18-30". Any trees required by the Ordinance Administrator shall be established in good condition as to be present a healthy, neat and orderly appearance.
 - 5. Any pruning or tapping on not acceptable or approved practices.

- 4.03 **Tree Care Maintenance:**
 - A. Property owners have the following responsibilities for shrubs or trees planted in or near the public right-of-way:
 - 1. Any property owner shall permit limbs or branches obstructing movement or vision of vehicles or pedestrians to be trimmed, clipped or removed at the city. Trimming work necessitated by storms or other emergencies, a permit shall be obtained before any person may remove or cut any trees upon the public right-of-way. The permit shall be issued or denied without charge by the Ordinance Administrator within eight days of the application.
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 - 5. Any pruning or tapping on not acceptable or approved practices.

- 4.04 **Tree Care Maintenance:**
 - A. Property owners have the following responsibilities for shrubs or trees planted in or near the public right-of-way:
 - 1. Any property owner shall permit limbs or branches obstructing movement or vision of vehicles or pedestrians to be trimmed, clipped or removed at the city. Trimming work necessitated by storms or other emergencies, a permit shall be obtained before any person may remove or cut any trees upon the public right-of-way. The permit shall be issued or denied without charge by the Ordinance Administrator within eight days of the application.
 - 2. Should the condition of any plant planted in or near the public right-of-way be such that it is a safety hazard, the property owner shall be notified by the Ordinance Administrator. The property owner shall be notified by the Ordinance Administrator. The property owner shall be notified by the Ordinance Administrator. The property owner shall be notified by the Ordinance Administrator.
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CITY OF WEST LAFAYETTE
City Hall, 609 West Navajo
West Lafayette, IN 47906

RECOMMENDED FOR APPROVAL
CITY ENGINEER
Date: Jan 2010 | Sheet: 17 of 18

LANDSCAPING Standard Details

CITY OF WEST LAFAYETTE
City Hall, 609 West Navajo
West Lafayette, IN 47906

RECOMMENDED FOR APPROVAL
CITY ENGINEER
Date: Jan 2010 | Sheet: 17 of 18

LANDSCAPING Standard Details

720 Northwestern

Student Housing

CBW to PDMX

**720 Northwestern Ave
West Lafayette, IN**

DATE	ISSUED FOR
04/26/12	APC MEETING-DRAFT PLAN
05/14/12	APC MEETING-DRAFT PLAN
05/23/12	PROGRESS

hpa

Harsbome Plunkard Architecture
352 North Carpenter, Chicago IL 60607
P 312 226 4400
F 312 226 4409
www.parchitecture.com

CK. BY:	JP
DN. BY:	TD
DATE:	07/11 PROJECT START
SCALE:	AS NOTED
PROJ. #	0903

**LANDSCAPING
DETAILS AND
SPECIFICATIONS**

LS0.2

SEVEN20



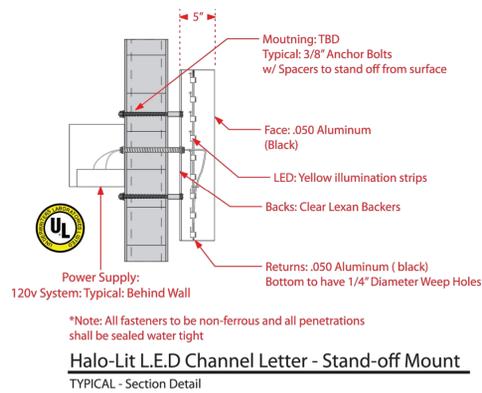
IDENTITI • RESOURCES



	1171 Tower Rd. Schaumburg, IL 60173 O: 847.301.0510 F: 847.301.0518 ideas@identiti.net	Project No: 12539 Date: 05/29/2012 Revision: 002	Element: Multiple Sign Elements Location: Chauncey & West Lafayette Sales Rep: Michael Sicher	Scale: 1/4" = 12" Designer: Sarah Broadfoot Revision Art: N/A	PROJECT SEVEN20 Actual Signage = 144.5 SqFt * SIGN CODE *	This sign design is the exclusive property of Identiti Resources, LTD. and is the result of the original and creative work of its employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to the design by Identiti Resources, LTD. Distribution or use of this sign design, by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LTD is prohibited.
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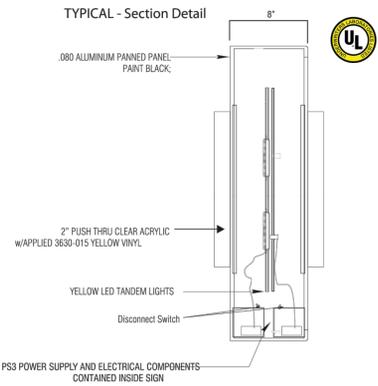
	1171 Tower Rd. Schaumburg, IL 60173 O: 847.301.0510 F: 847.301.0518 ideas@identiti.net	Project No: 12539 Date: 05/29/2012 Revision: 002	Element: Multiple Sign Elements Location: Chauncey & West Lafayette Sales Rep: Michael Sicher	Scale: NTS Designer: Sarah Broadfoot Revision Art: N/A	PROJECT SEVEN20 Actual Signage = 144.5 SqFt * SIGN CODE *	This sign design is the exclusive property of Identiti Resources, LTD. and is the result of the original and creative work of its employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to the design by Identiti Resources, LTD. Distribution or use of this sign design, by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LTD is prohibited.
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	1171 Tower Rd. Schaumburg, IL 60173 O: 847.301.0510 F: 847.301.0518 ideas@identiti.net	Project No: 12539 Date: 05/24/2012 Revision: 000	Element: Multiple Sign Elements Location: Chauncey & West Lafayette Sales Rep: Michael Sicher	Scale: 1/4" = 12" Designer: Sarah Broadfoot Revision Art: N/A	PROJECT SEVEN20 Actual Signage = 59.325 SqFt * SIGN CODE *	This sign design is the exclusive property of Identiti Resources, LTD. and is the result of the original and creative work of its employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to the design by Identiti Resources, LTD. Distribution or use of this sign design, by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LTD is prohibited.
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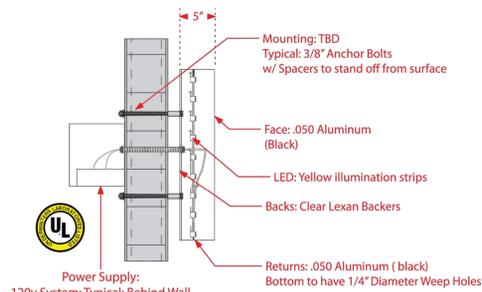
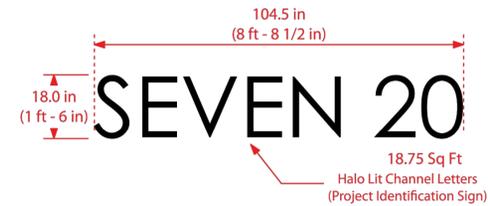


Double Sided Vertical Blade Sign: Push-Through Acrylic Letters

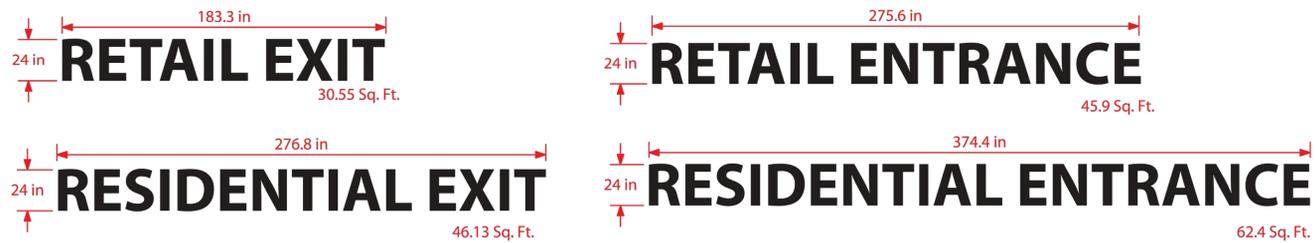
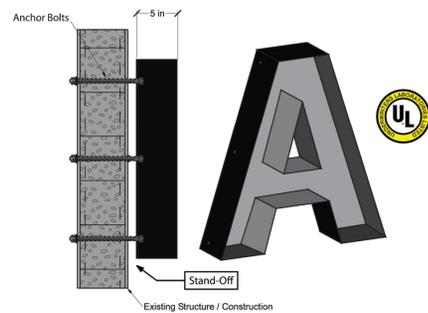


3630-015 Yellow
Aluminum face to match building facade

	1171 Tower Rd. Schaumburg, IL 60173 O: 847.301.0510 F: 847.301.0518 ideas@identiti.net	Project No: 12539	Element: Multiple Sign Elements	Scale: 1/4" = 12"	Designer: Sarah Broadfoot	Revision Art: N/A	<p>PROJECT SEVEN20</p> <p>Actual Signage = 69.5 SqFt</p> <p>* SIGN CODE *</p>	<p><small>This sign design is the exclusive property of Identiti Resources, LLC, and is the result of the original and creative work of its employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design by Identiti Resources, LLC. Distribution or use of this sign design, by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LLC is prohibited.</small></p>
	Date: 05/29/2012	Location: Chauncey & West Lafayette	Actual Signage = 69.5 SqFt					
	Revision: 002	Sales Rep: Michael Sicher	* SIGN CODE *					



	1171 Tower Rd. Schaumburg, IL 60173 O: 847.301.0510 F: 847.301.0518 ideas@identiti.net	Project No: 12539	Element: Multiple Sign Elements	Scale: 1/2" = 12"	Designer: Sarah Broadfoot	Revision Art: N/A	<p>PROJECT SEVEN20</p> <p>Actual Signage = 13.1 SqFt</p> <p>* SIGN CODE *</p>	<p><small>This sign design is the exclusive property of Identiti Resources, LLC, and is the result of the original and creative work of its employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design by Identiti Resources, LLC. Distribution or use of this sign design, by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LLC is prohibited.</small></p>
	Date: 05/24/2012	Location: Chauncey & West Lafayette	Actual Signage = 13.1 SqFt					
	Revision: 000	Sales Rep: Michael Sicher	* SIGN CODE *					

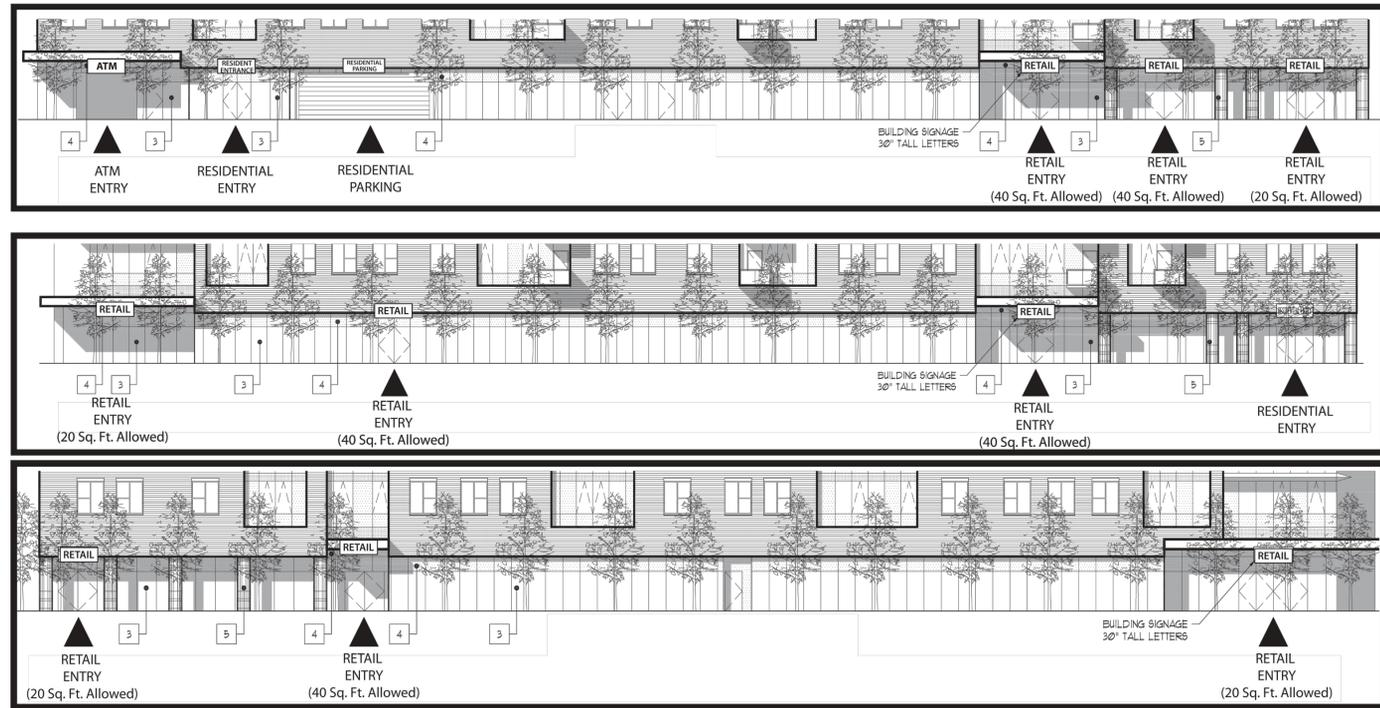


	1171 Tower Rd. Schaumburg, IL 60173 O: 847.301.0510 F: 847.301.0518 ideas@identiti.net	Project No: 12539	Element: Non-Illuminated Channel Letters	Scale: 1/4" = 12"	Designer: Sarah Broadfoot	Revision Art: N/A	<p>PROJECT SOUTH STREET CAPITAL</p> <p>* SIGN CODE *</p>	<p><small>This sign design is the exclusive property of Identiti Resources, LLC, and is the result of the original and creative work of its employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design by Identiti Resources, LLC. Distribution or use of this sign design, by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LLC is prohibited.</small></p>
	Date: 05/29/2012	Location: Chauncey & West Lafayette						
	Revision: 000	Sales Rep: Michael Sicher						

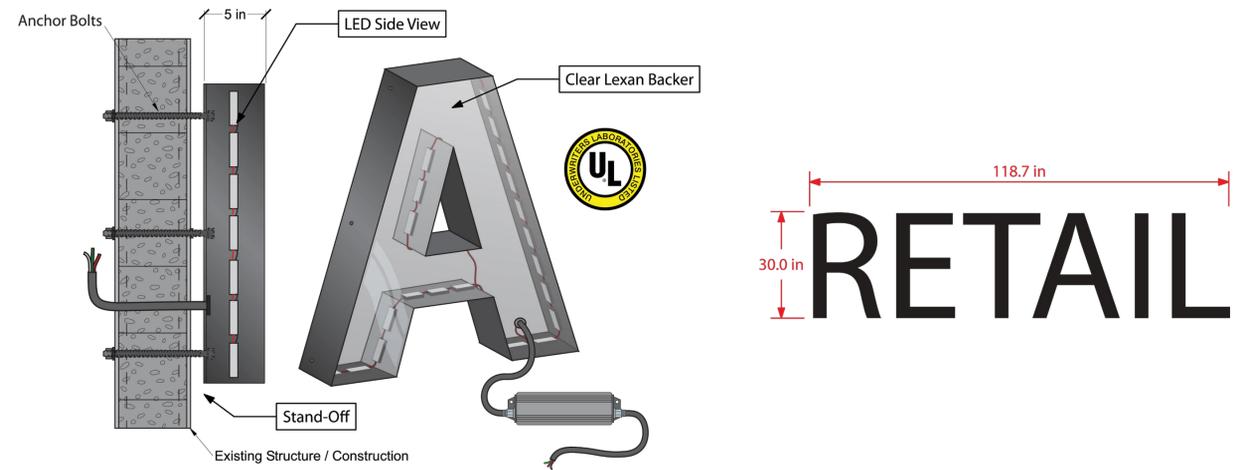
- Parking Sign:
- 12 inches wide x 18 inches high
 - Color: Black copy
 - .080" Aluminium
 - Corners: 1 1/2 inch radius
 - Holes: Two 3/8 inch holes top and bottom centered, inset 1 1/2 inches



	1171 Tower Rd. Schaumburg, IL 60173 O: 847.301.0510 F: 847.301.0518 ideas@identiti.net	Project No: 12539	Element: Garage Signs	Scale: NTS	Designer: Sarah Broadfoot	Revision Art: N/A	<p>PROJECT SEVEN20</p> <p>* SIGN CODE *</p>	<p><small>This sign design is the exclusive property of Identiti Resources, LLC, and is the result of the original and creative work of its employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design by Identiti Resources, LLC. Distribution or use of this sign design, by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LLC is prohibited.</small></p>
	Date: 05/29/2012	Location: Chauncey & West Lafayette						
	Revision: 000	Sales Rep: Michael Sicher						

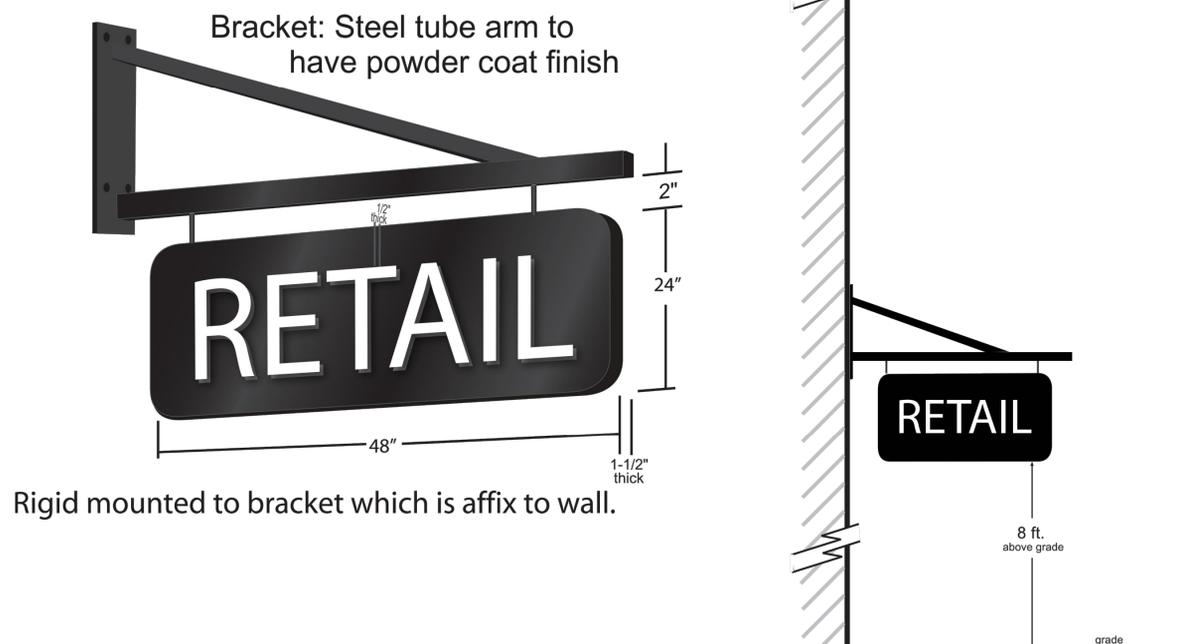


	1171 Tower Rd. Schaumburg, IL 60173 O: 847.301.0510 F: 847.301.0518 ideas@identiti.net	Project No: 12539	Element: Sign Element	Scale: NTS	Designer: Sarah Broadfoot	Revision Art: N/A
	Date: 05/29/2012	Location: Chauncey & West Lafayette	PROJECT SEVEN20	4 inline retail spaces (each space is allowed 40sqft sign total. Blade sign) Halo Lit 2 endcap retail spaces (each space is allowed 40sqft allowed 1 sign for each side. Show 20 and 20) Halo Lit	<small>This sign design is the exclusive property of Identiti Resources, LLC, and is the result of the original and creative work of its employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design by Identiti Resources, LLC. Distribution or use of this sign design by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LLC is prohibited.</small>	
	Revision: 000	Sales Rep: Michael Sicher	* SIGN CODE *			
	<small>The sign design is the exclusive property of Identiti Resources, LLC, and is the result of the original and creative work of its employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design by Identiti Resources, LLC. Distribution or use of this sign design by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LLC is prohibited.</small>					



L.E.D Channel Letter - Reverse Lit - Standoff
TYPICAL - Not To Scale - "A" Used as Sample

	1171 Tower Rd. Schaumburg, IL 60173 O: 847.301.0510 F: 847.301.0518 ideas@identiti.net	Project No: 12539	Element: Reverse Lit Channel Letters	Scale: 1/2" = 12"	Designer: Sarah Broadfoot	Revision Art: N/A
	Date: 05/29/2012	Location: Chauncey & West Lafayette	PROJECT SEVEN20	4 inline retail spaces (each space is allowed 40sqft sign total. Blade sign) Halo Lit 2 endcap retail spaces (each space is allowed 40sqft allowed 1 sign for each side. Show 20 and 20) Halo Lit	<small>This sign design is the exclusive property of Identiti Resources, LLC, and is the result of the original and creative work of its employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design by Identiti Resources, LLC. Distribution or use of this sign design by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LLC is prohibited.</small>	
	Revision: 000	Sales Rep: Michael Sicher	* SIGN CODE *			
	<small>The sign design is the exclusive property of Identiti Resources, LLC, and is the result of the original and creative work of its employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design by Identiti Resources, LLC. Distribution or use of this sign design by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LLC is prohibited.</small>					



	1171 Tower Rd. Schaumburg, IL 60173 O: 847.301.0510 F: 847.301.0518 ideas@identiti.net	Project No: 12539	Element: Blade Sign	Scale: NTS	Designer: Sarah Broadfoot	Revision Art: N/A
	Date: 05/29/2012	Location: Chauncey & West Lafayette	PROJECT SEVEN20	Blade Sign 2'x4' in size (8 ft from grade) non illuminated	<small>This sign design is the exclusive property of Identiti Resources, LLC, and is the result of the original and creative work of its employees. This drawing is submitted to the customer for the sole purpose of purchase of the design or signage manufactured to this design by Identiti Resources, LLC. Distribution or use of this sign design by anyone outside of the customer's organization, without expressed, written authorization by Identiti Resources, LLC is prohibited.</small>	
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